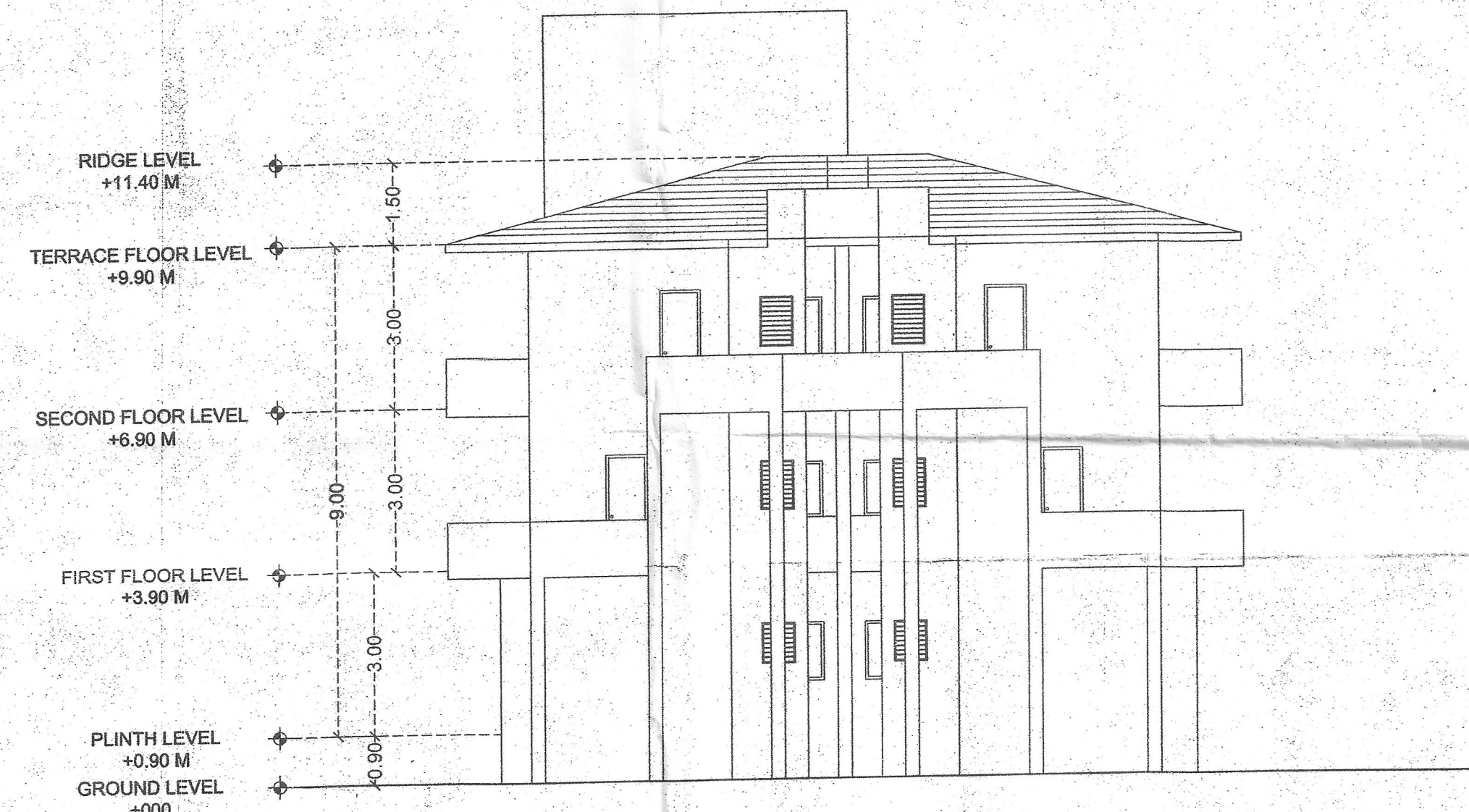
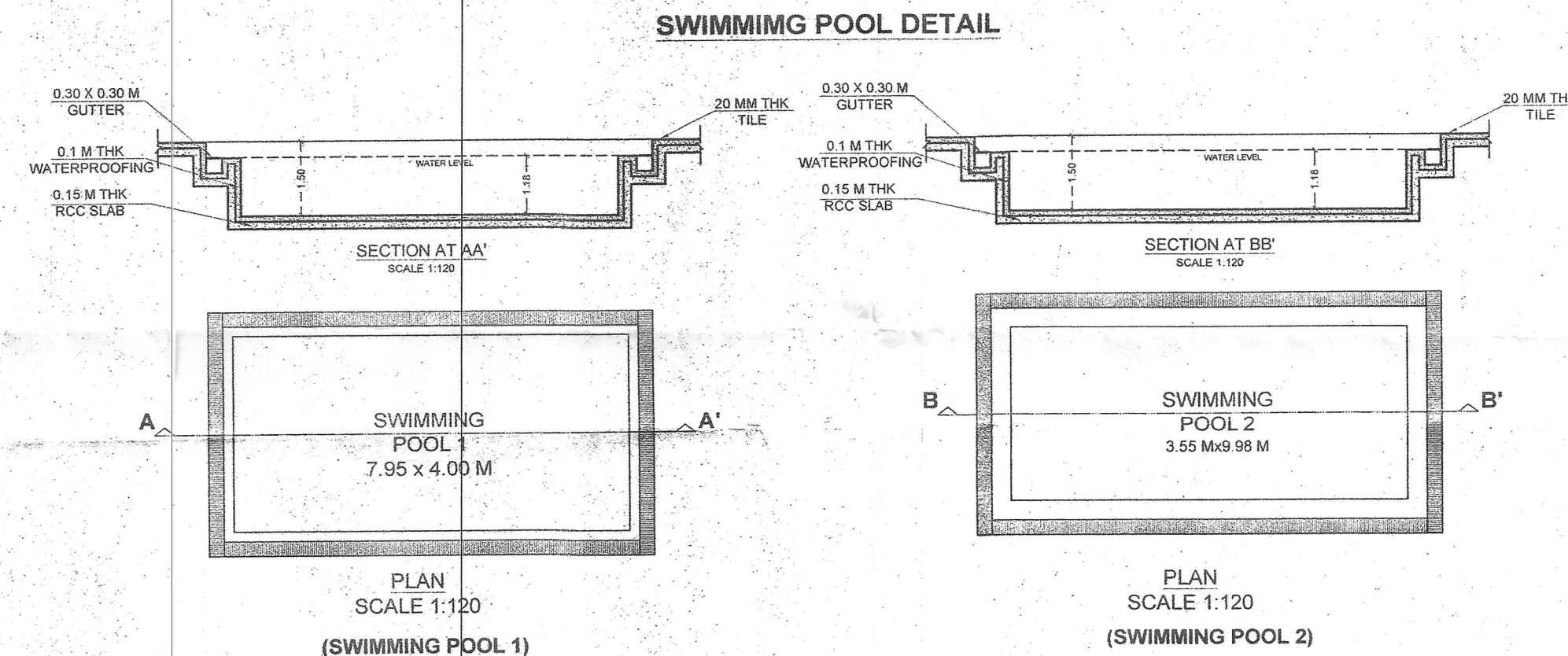


SECTION AA'  
(SCALE 1:100)



WEST SIDE ELEVATION  
WING A & B (SCALE 1:100)



SWIMMING POOL DETAIL

WATER STATEMENT FOR WING - A (36 PERSON) :

TYPE	NO. OF PERSON	WATER REQ. PER PERSON	TOTAL WATER REQ.
WING A	36 person	135 ltrs/day	4860 ltrs/day
WATER REQUIRED (36 person)			4860 ltrs/day
TOTAL WATER REQUIRED			4860 ltrs/day
TOTAL WATER REQUIREMENT FOR A WINGS (24 PERSONS)			
TOTAL WATER REQUIREMENTS = 4860 LTRS			
ASSUME 5000 LTRS			
PROPOSED OVERHEAD WATER TANK CAPACITY :			
SIZE OF OHWT 1 = 2.40 X 2.7 X 0.80 HT = 5182 LTRS			

WATER STATEMENT FOR WING-B (64 PERSON) :

TYPE	NO. OF PERSON	WATER REQ. PER PERSON	TOTAL WATER REQ.
WING B (RESIDENTIAL BLOCK)	64 person	135 ltrs/day	7290 ltrs/day
WATER REQUIRED (36 person)			7290 ltrs/day
TOTAL WATER REQUIRED			7290 ltrs/day
TOTAL WATER REQUIREMENT FOR B WINGS (64 PERSONS)			
TOTAL WATER REQUIREMENTS = 7290 LTRS			
ASSUME 7300 LTRS			
PROPOSED OVERHEAD WATER TANK CAPACITY :			
SIZE OF OHWT 2 = 2.40 X 2.7 X 1.15 HT = 7,452 LTRS			

UNDERGROUND WATER STATEMENT :

FOR RESIDENTIAL PURPOSE  
AMOUNT OF WATER REQUIRED PER PERSON = 135 ltrs/day  
NUMBER OF UNITS = 15 no.s  
NUMBER OF PERSONS PER TENEMENTS = 6 no.s  
TOTAL NUMBER OF TENEMENTS = 90  
WATER REQUIRED (90 person ) = 12,150 ltrs/day  
TOTAL WATER REQUIRED = 12,150 ltrs/day

TOTAL WATER REQUIREMENT  
TOTAL WATER REQUIREMENTS = 12,150 LTRS  
ASSUME 12,500 LTRS

UNDERGROUND WATER TANK CAPACITY = 12,500 LTRS X 1.5 TIMES  
= 18,750 LTRS SAY 19,000 LTRS

PROPOSED UNDERGROUND WATER TANK CAPACITY :

SIZE OF UGWT 1 = 2.70 X 3.60 X 1.20 HT = 11,664 LTRS  
SIZE OF UGWT 2 = 2.70 X 3.60 X 1.20 HT = 11,664 LTRS  
TOTAL = 23,328 LTRS

PROPOSED OVERHEAD WATER TANK CAPACITY :

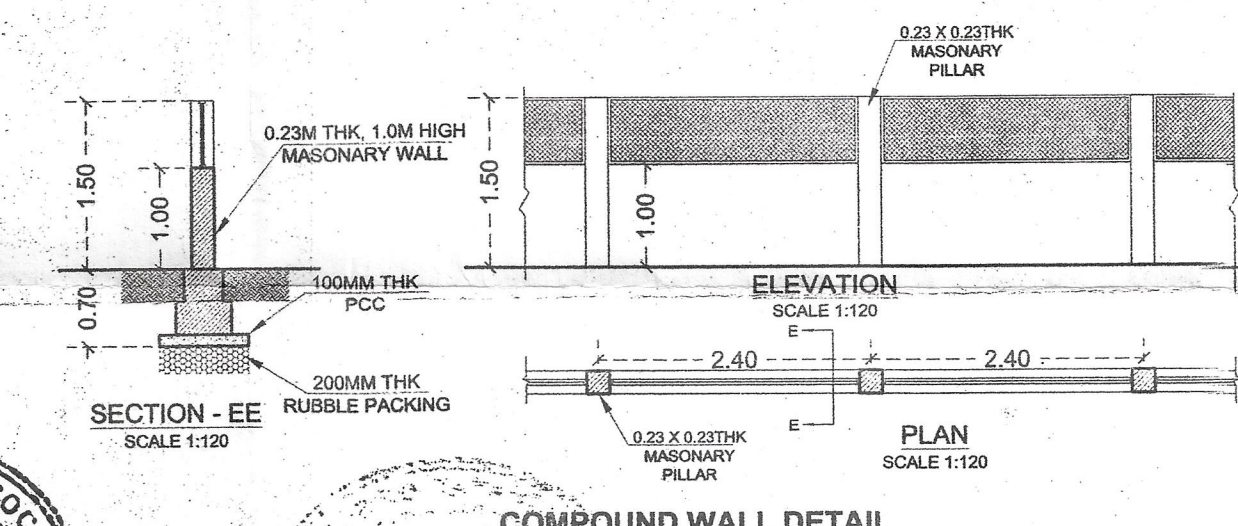
SIZE OF OHWT 1 = 2.40 X 2.70 X 0.8 HT = 5,182 LTRS  
SIZE OF OHWT 2 = 2.40 X 2.70 X 1.15 HT = 7,452 LTRS  
TOTAL = 12,634 LTRS

PARKING AREA STATEMENT:

TYPE	TOTAL FLOOR AREA	REQUIRED NO. OF PARKING	TOTAL REQUIRED NO. OF PARKING	NO. OF PARKING PROVIDED
FOUR WHEELER	897.70	1/75 SCM	12	12

TENEMENT CALCULATIONS OF WING A&B:

TYPE	BASEMENT LEVEL FLOOR	GROUND LEVEL FLOOR	FIRST LEVEL FLOOR	SECOND LEVEL FLOOR	TOTAL NO OF UNITS
1 BHK	0	3	6	6	15
TOTAL					15



COMPOUND WALL DETAIL

OPENING SCHEDULE

SNO.	DESCRIPTION
1	D1 0.75X2.1
2	D2 0.9X2.1
3	D 1.0X2.1
4	SD1 3.55X2.1
5	SD2 3.35X2.1
6	SD3 3.35X2.1
7	SD4 3.44X2.1
8	SD5 2.46X2.1
9	SD6 3.02X2.1
10	SD7 1.85X2.1
11	W 1.2X0.9
12	W1 1.2X1.2
13	W2 1.72X0.9
14	W3 0.9X1.2
15	W4 1.5X1.2
16	LD 1.0X2.1
17	V 0.6X0.9

SPECIFICATIONS:

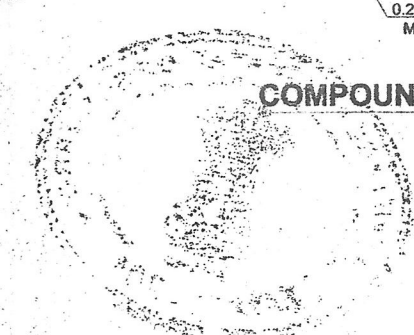
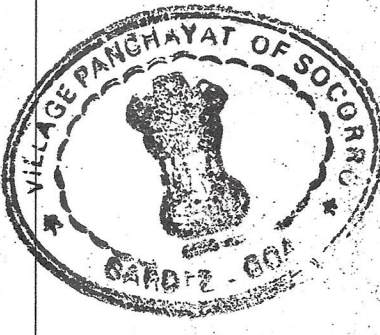
- FLOORING: 600 X 600 VITRIFIED TILES
- DOOR FRAMES: 100 X 75 TEAKWOOD
- EXTERNAL WALL: 200MM THK STONE / BRICK WALLS
- INTERIOR WALL: 100MM THK BLOK WALLS
- SWIRING: POLYCARB

GENERAL NOTE:  
1. ALL DIMENSIONS ARE IN M.  
2. THIS DRAWING IS PROPERTY OF THE ARCHITECT. IT SHOULD NOT BE COPIED OR REPRODUCED, PARTLY OR FULLY, IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE APPOINTED ARCHITECT OR HIS SUCCESSORS.  
3. ANY AMENDMENTS MADE TO THIS DRAWING SHALL BE SUBJECT TO THE ARCHITECT'S SIGNATURE AND SEAL.  
4. THIS DRAWING IS TO BE USED ONLY FOR THE PURPOSES SPECIFIED ONLY.

DESCRIPTION OF PROPOSAL  
THE PROPERTY BEARING SURVEY NO. 355-3 VILLAGE SOCORRO, BARDEZ TALUKA, GOA

NAME OF OWNER & ADDRESS OWNER'S SIGN  
MR. GOKUL KUMAR. MR. DANNY FERNANDES.

ARCHITECT'S SIGN  
Ar. VIBHUTI FOTEDAR CA/2005/37083 FINCH ARCHITECTS



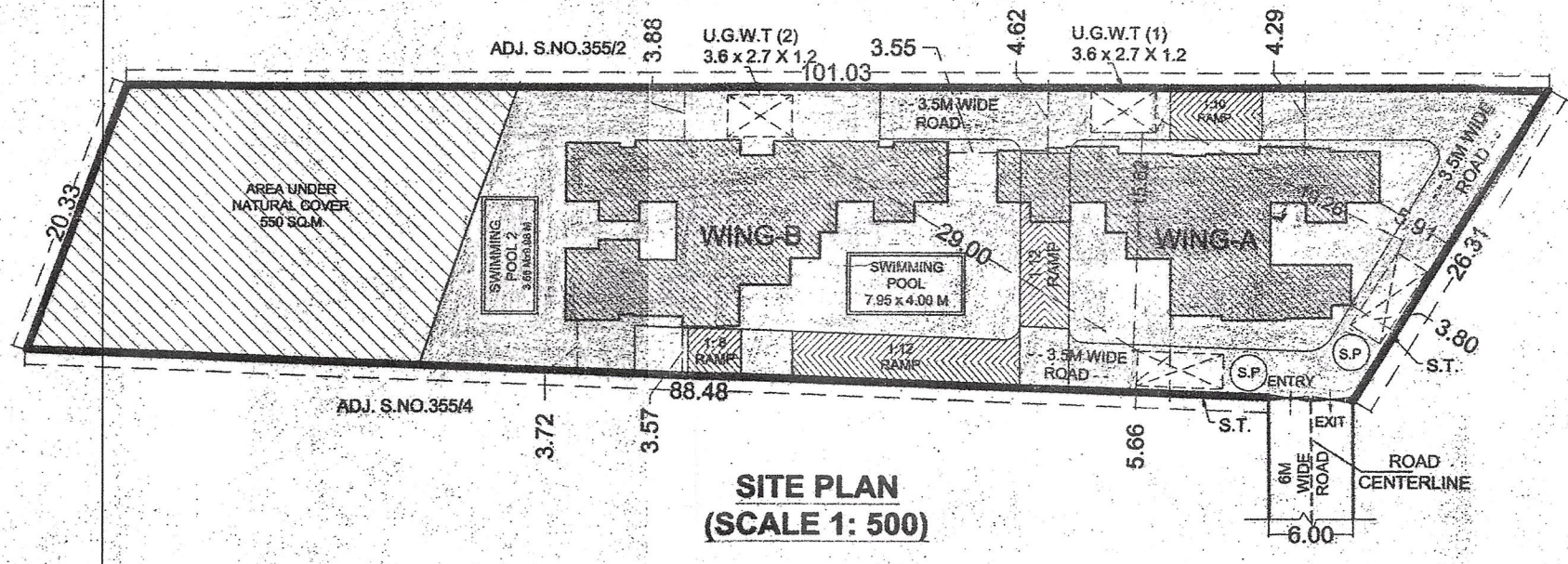
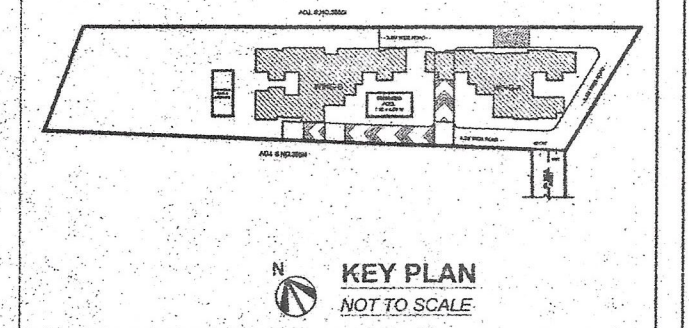
Approved with condition vide L. No.: TP/1452/SOC/TEP/22/1572  
Dy. Town Planner  
Town & Country Planning Dept  
Govt. of Goa, Mapusa

Passed and Approved  
Vide Res. No. 12/22 dt 26/05/2022  
Subject to the Conditions  
Mentioned on the Permission  
No. VP/Soc - 1607/2022-2023

Dated:- 31/05/2022  
Secretary  
V. P. Socorro

SCALE DATE CHECKED BY  
VRS 10.03.2022 V

ARCHITECTS AND PLANNERS:  
FINCH ARCHITECTURE & PROJECT MANAGEMENT  
FLY NO. 8 BASERA HOUL SOC.,  
SALUNHOE VILHAR ROAD,  
WANANORE - PUNE - 43 MAHARASHTRA  
EMAIL: VIBHUTI@FINCH.AE  
MOB NO. 9862608481, 9371201937



**TOTAL SUPER FLOOR AREA CALCULATION FOR INFRASTRUCTURE TAX**

FLOOR	FLOOR AREA (SQ.M)	BALCONY (SQ.M)	STAIRCASE (SQ.M)	LOBBY (SQ.M)	OPEN TERRACE (SQ.M)	LIFT WALLS (SQ.M)	SWIMMING POOL 2B1 (SQ.M)	NO. OF BLOCKS (NO.S)	SUPER FLOOR AREA (SQ.M) (a+b+c+d+e+f+g) x h = i
WING A & B	197.84		18.72	36.21	1.77	2.48	69.85	1	
GROUND LEVEL FLOOR	349.93	102.99	18.72	27.76	69.25	2.48		1	
FIRST LEVEL FLOOR	349.93	102.99	18.72	27.76	68.41	2.48		1	
SECOND LEVEL FLOOR	349.93	102.99	18.72	27.76	68.41	2.48		1	
ROOF LEVEL FLOOR			24.48			2.48		1	
<b>TOTAL AREAS</b>	<b>897.70</b>	<b>205.98</b>	<b>80.64</b>	<b>91.73</b>	<b>139.43</b>	<b>9.92</b>	<b>69.85</b>	<b>1</b>	<b>1495.25</b>

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Vide Res. No. 12/2 dt. 26/05/2022  
Subject to the Conditions  
Mentioned on the Permission  
No. VP/Soc/1/607/2022-2023  
Dated: 31/05/2022  
Secretary  
V. P. Socorro

LOCATION PLAN  
NOT TO SCALE

**BALCONY AREA STATEMENT :**

FLOOR	FLOOR AREA (SQM)	PERMISSIBLE BALCONY AREA (SQM) - 30% OF FLOOR AREA	PROPOSED BALCONY AREA (SQM)
FIRST FLOOR	349.93	104.97	102.99
SECOND FLOOR	349.93	104.97	102.99

**GROUND COVERAGE :**

I. NET PLOT AREA	1500 SQM
II. PERMISSIBLE GROUND COVERAGE AREA (40% OF I)	600 SQM
III. TOTAL PROPOSED GROUND COVERAGE AREA = (28.51%)	427.66 SQM

**WING A & B**

TOTAL FLOOR AREA OF GF, FF & SF = 197.84+349.93+349.93 = 897.70 SQM

GROUND COVERAGE :

TOTAL GROUND COVERAGE AREA (WING A & B)	427.66 SQM
---	------------

NET PLOT AREA = 1500 SQM

PERMISSIBLE FAR	PERMISSIBLE FLOOR AREA (SQM)	PROPOSED FLOOR AREA (SQM)	BALANCE AREA (SQM)
60%	900	897.70	2.30

TENAMENT CALCULATIONS OF WING A & B:

TYPE	BASEMENT LEVEL FLOOR	GROUND LEVEL FLOOR	FIRST LEVEL FLOOR	SECOND LEVEL FLOOR	TOTAL NO OF UNITS
1 BHK	0	3	6	6	15
TOTAL					15

PARKING AREA STATEMENT:

TYPE	TOTAL FLOOR AREA	REQUIRED NO. OF PARKING	TOTAL REQUIRED NO. OF PARKING	NO. OF PARKING PROVIDED
FOUR WHEELER	897.70	1/75 SQM	12	12

**AREA STATEMENT:**

I. TOTAL PLOT AREA	2050 SQM
II. AREA UNDER NATURAL COVER	550 SQM
III. SETTLEMENT ZONE (NET PLOT AREA)	1500 SQM
IV. NET PLOT AREA	1500 SQM
V. PERMISSIBLE GROUND COVERAGE (40% OF IV)	600 SQM
VI. PROPOSED GROUND COVERAGE (28.51%)	427.66 SQM
VII. PERMISSIBLE FAR (60% OF IV)	900 SQM
VIII. PROPOSED FLOOR AREA (59.81%)	897.70 SQM

**PARKING AREA STATEMENT:**

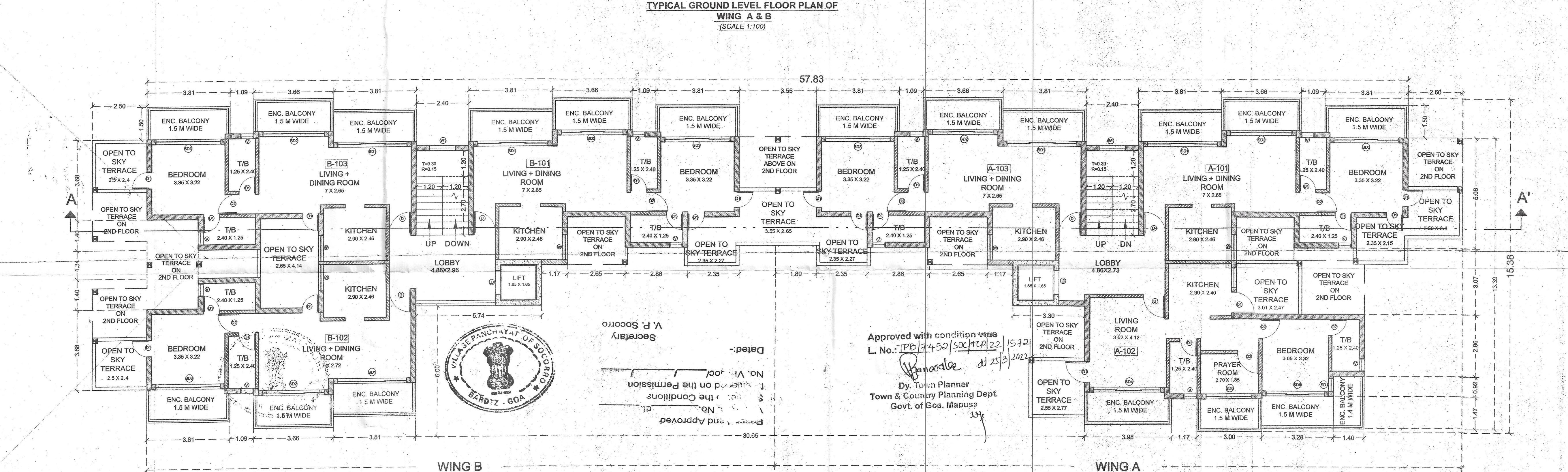
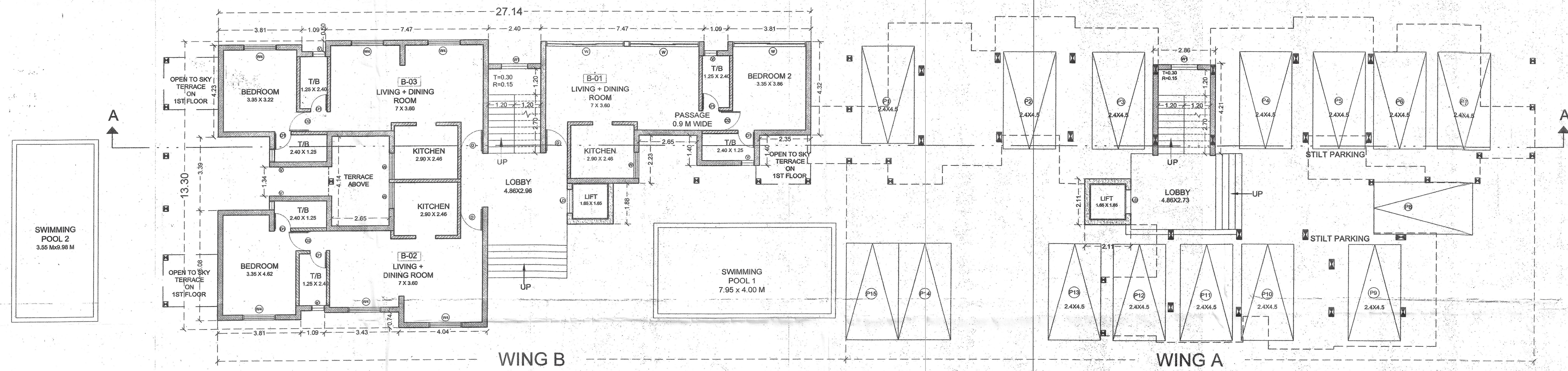
I. REQUIRED FOUR WHEELER PARKING	12 NO.S
II. PROVIDED FOUR WHEELER PARKING	12 NO.S

**NET FLOOR AREA**

FLOOR	WING A & B
1. GROUND LEVEL FLOOR	197.84
2. FIRST LEVEL FLOOR	349.93
3. SECOND LEVEL FLOOR	349.93
<b>TOTAL</b>	<b>897.70</b>
PERMISSIBLE F.A.R.	900
PROPOSED F.A.R.	897.70

TENAMENT CALCULATIONS OF WING A & B:

TYPE	BASEMENT LEVEL FLOOR	GROUND LEVEL FLOOR	FIRST LEVEL FLOOR	SECOND LEVEL FLOOR	TOTAL NO OF UNITS
1 BHK	0	3	6	6	15
TOTAL					15



**OPENING SCHEDULE**

SNO.	DESCRIPTION	SIZE
1	D1	0.70X2.1
2	D2	0.55X1.1
3	D	1.0X2.1
4	SD1	3.58X2.1
5	SD2	3.2X2.1
6	SD3	3.38X2.1
7	SD4	3.44X2.1
8	SD5	2.46X2.1
9	SD6	3.0X2.1
10	SD7	1.88X2.1
11	W	1.2X2.9
12	W1	1.2X1.2
13	W2	1.72X0.9
14	W3	0.9X1.2
15	W4	1.5X1.2
16	LD	1.0X2.1
17	V	0.6X0.9

**SPECIFICATIONS:**

FLOORING	600 X 600 VITRIFIED TILES
DOOR FRAMES	100 X 75 TEAKWOOD
EXTERNAL WALL	20MM THK STONE / BRICK WALLS
INTERNAL WALL	150MM THK CC BLOCK WALLS
WIRING	POLYCARB

**GENERAL NOTE:**

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- THIS DRAWING SHOULD BE REVISIONED FOR THE SAME ONLY FOR THE SAME PURPOSES ONLY.

**DESCRIPTION OF PROPOSAL**  
THE PROPERTY BEARING SURVEY NO. 355-3 VILLAGE SOCORRO, BARDEZ TALUKA, GOA  
NAME OF OWNER & ADDRESS  
MR. GOKUL KUMAR  
MR. DANNY FERNADES

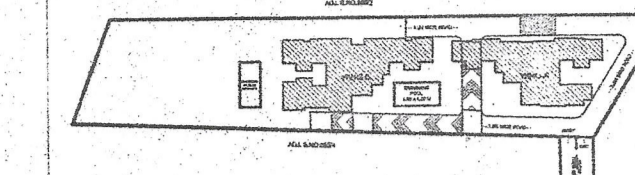
SCALE	DATE	CHECKED BY	DEALT BY
VRB	10.03.2022	V	M

**FINCH" ARCHITECTURE & PROJECT MANAGEMENT**  
FLT NO. 6 BASERA HOUL SOC.  
SALUNHE WAKAR ROAD  
WANORIE - PUNE- 43 MAHARASHTRA  
email: info@finch.in  
MOB: 9867754291, 9371201937



Approved with condition vide Res. No. 12/2 dt. 26/05/2022  
L. No. TPB/2452/SOC/22/1572  
Dy. Town Planner  
Town & Country Planning Dept.  
Govt. of Goa, Mapusa

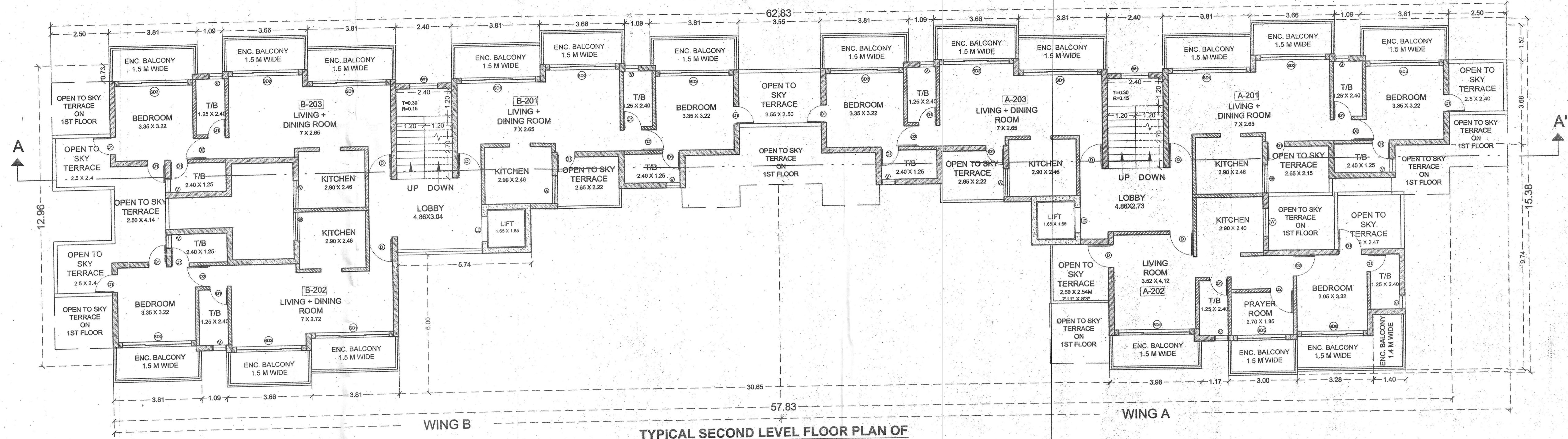
Approved and Approved  
No. VP/Soc/1/607/2022-2023  
Subject to the Conditions  
Mentioned on the Permission



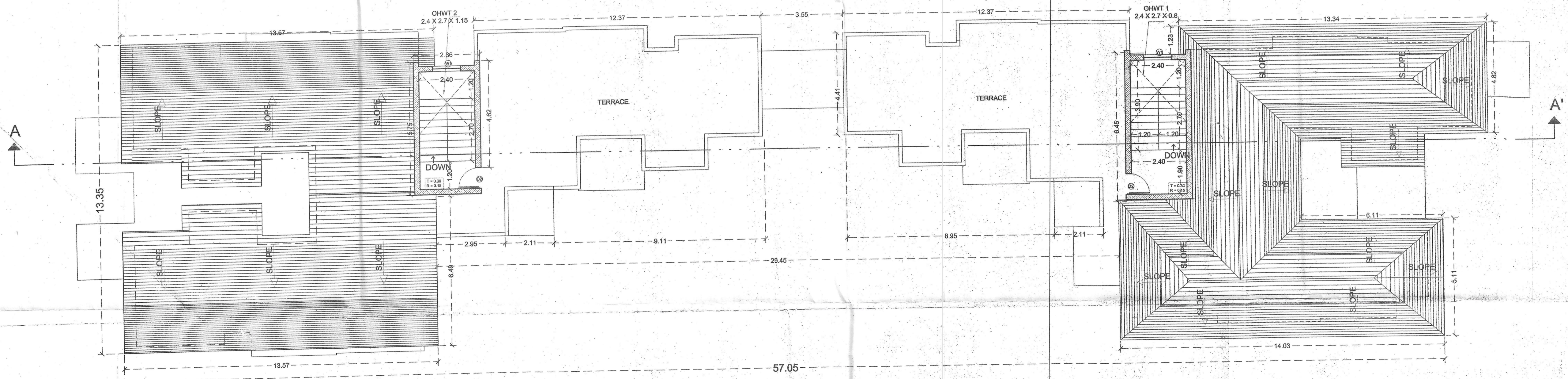
**KEY PLAN**  
NOT TO SCALE

**NET FLOOR AREA**

FLOOR	WING A & B
1 GROUND LEVEL FLOOR	197.84
2 FIRST LEVEL FLOOR	348.93
3 SECOND LEVEL FLOOR	348.93
<b>TOTAL</b>	<b>897.70</b>
PERMISSIBLE F.A.R.	900
PROPOSED F.A.R.	897.70



**TYPICAL SECOND LEVEL FLOOR PLAN OF WING A & B**  
(SCALE 1:100)



**TERRACE LEVEL FLOOR PLAN OF WING A & B**  
(SCALE 1:100)

**OPENING SCHEDULE**

SrNo	DESCRIPTION	AREA
1	D1	0.78x2.1
2	D2	0.8x2.1
3	D	1.0x2.1
4	SD1	3.58x2.1
5	SD2	3.2x2.1
6	SD3	3.58x2.1
7	SD4	3.45x2.1
8	SD5	2.48x2.1
9	SD6	3.0x2.1
10	SD7	1.85x2.1
11	W	1.2x0.9
12	W1	1.2x1.2
13	W2	1.72x0.9
14	W3	0.8x1.2
15	W4	1.5x1.2
16	LD	1.0x2.1
17	V	0.8x0.9

**SPECIFICATIONS:**

FLOORING	600 x 600 VITRIFIED TILES
DOOR FRAMES	100 x 75 TEAKWOOD
EXTERNAL WALL	230MM THK STONE / BRICK WALL
INTERIOR WALL	100MM THK CC BLOCK WALLS
ROOFING	POLYCOSE

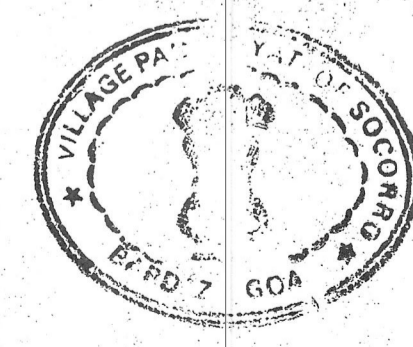
**DESCRIPTION OF PROPOSAL**  
THE PROPERTY BEARING SURVEY NO. 355-3  
VILLAGE SOCORRO, BARDEZ TALUKA, GOA

**NAME OF OWNER & ADDRESS**  
MR. GOKUL KUMAR  
MR. DANNY FERNADES.

**ARCHITECTS AND PLANNERS**  
Ar. VIBHUTI FOTADAR  
CAN200557083  
FINCH ARCHITECTS

**SCALE**  
DATE 10.03.2022  
CHECKED BY V M

**ARCHITECTS AND PLANNERS**  
FINCH ARCHITECTURE & PROJECT MANAGEMENT  
P11 110 8 BARBERA HOUS SOCIETY,  
SALLANPHE VISHAR ROAD,  
WANDROR, PUNE-40 MANHASRAVITRA  
Email: info@finch.net.in  
MOB NO. : 9920789421, 9517201917



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No. VP/Soc - 1607/2022-2023  
Dated:- 31/05/2022  
Secretary  
V. P. Socorro

Approved with condition vide  
L. No. TPB/7452/Soc/TEP/22/1573  
Dated:- 22/05/2022  
Dy. Town Planner  
Town & Country Planning Dept.  
Govt. of Goa, Mapusa