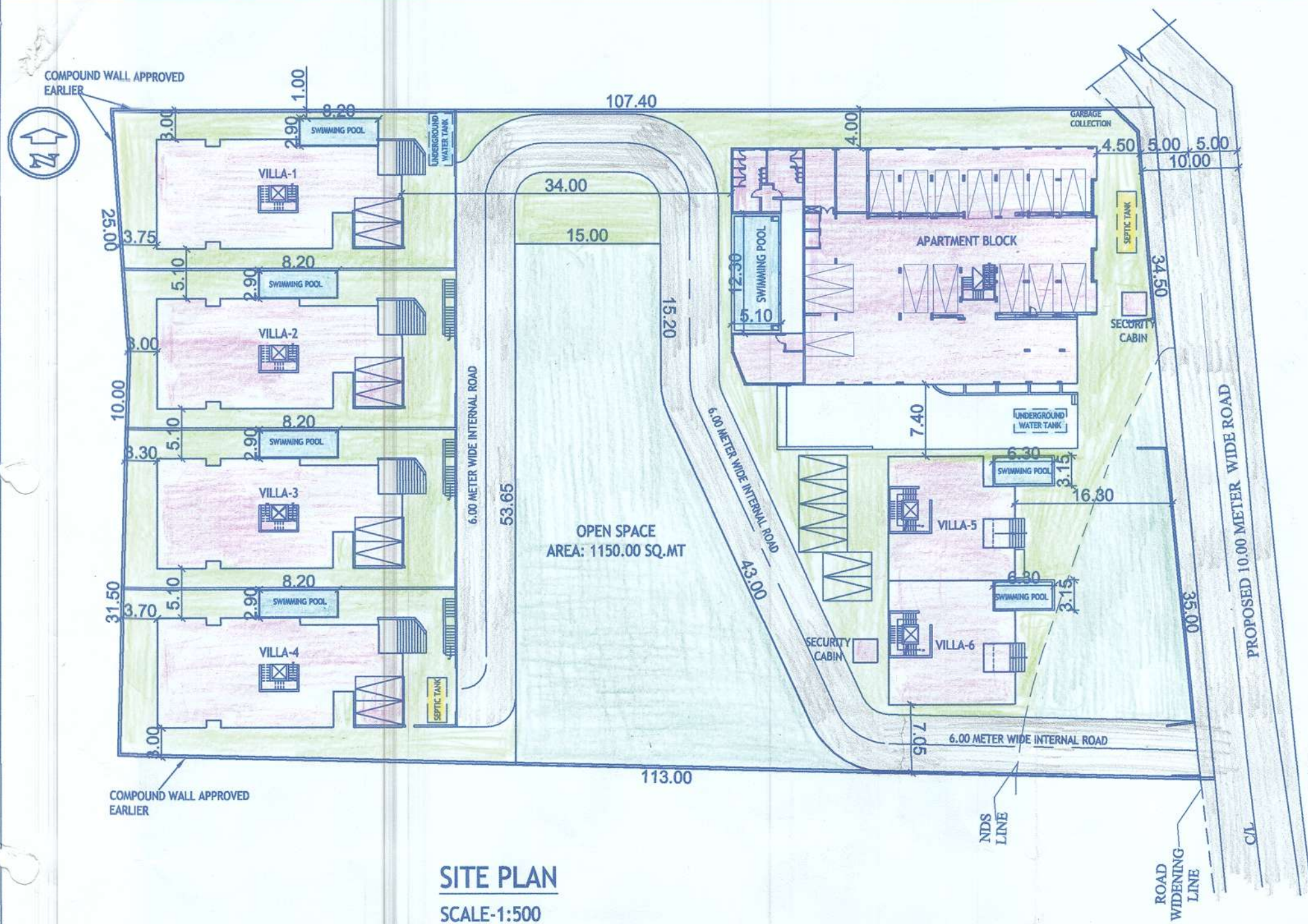
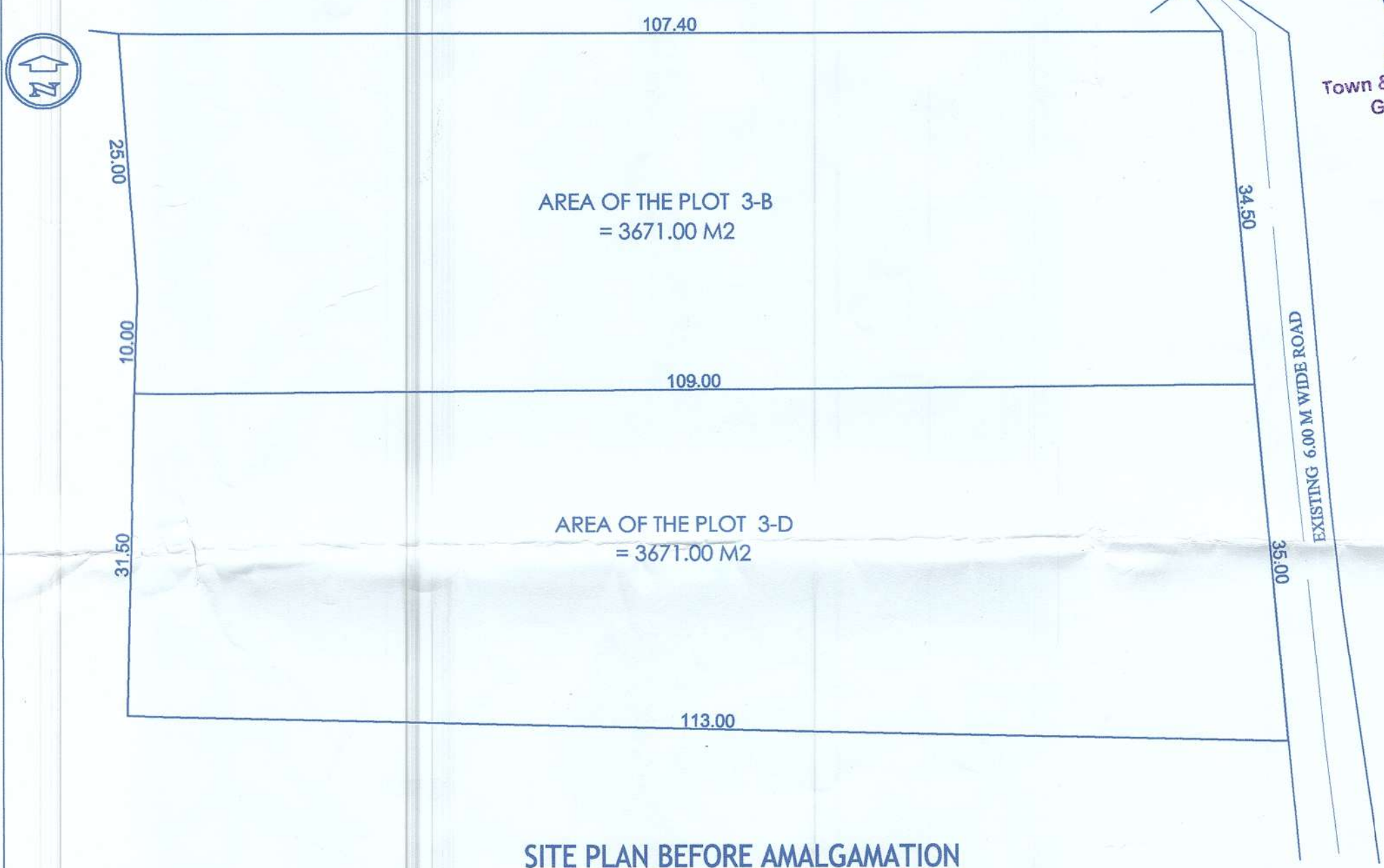
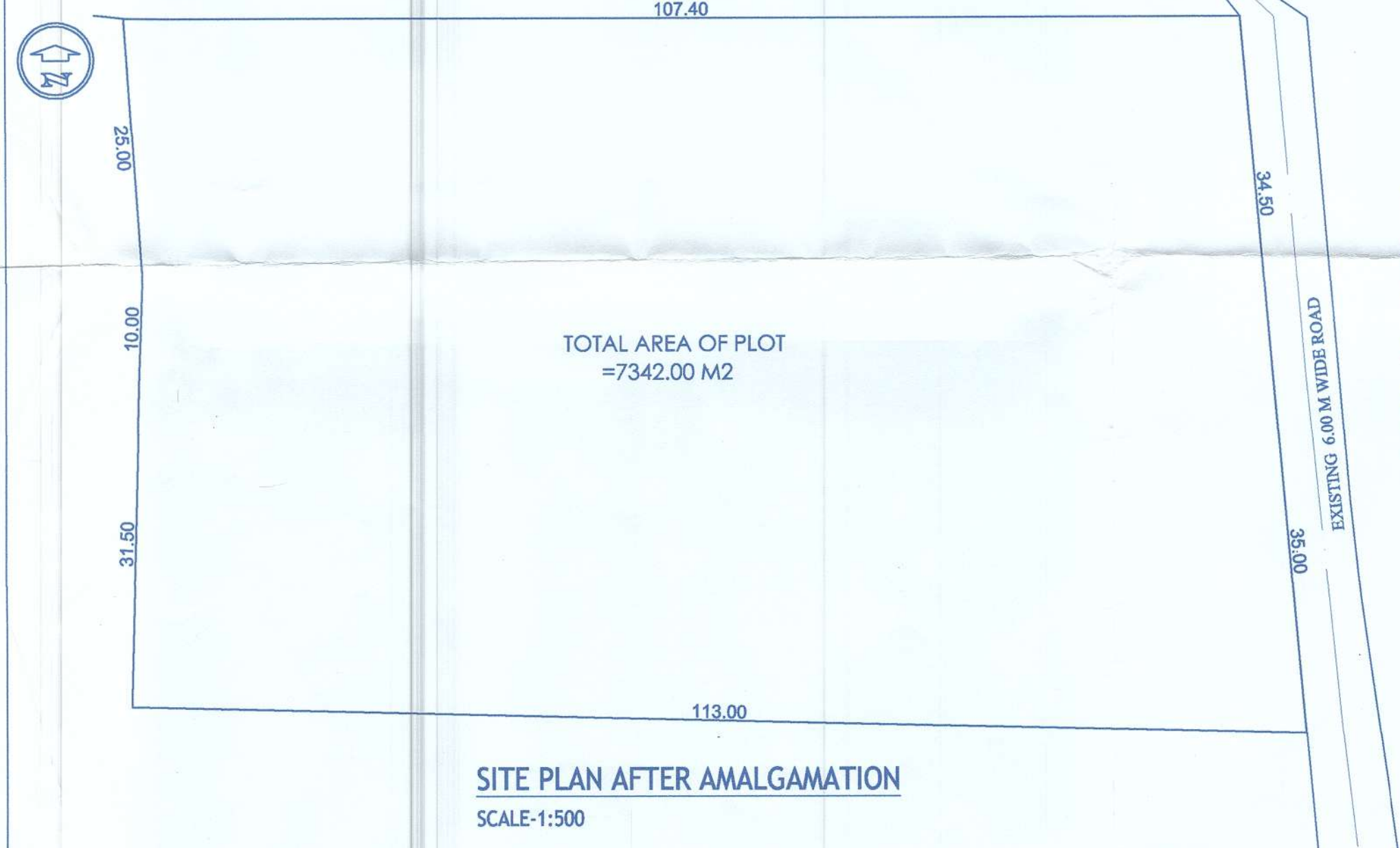




SITE PLAN
SCALE-1:500



SITE PLAN BEFORE AMALGAMATION
SCALE-1:500



SITE PLAN AFTER AMALGAMATION
SCALE-1:500

Approved with condition vide
L. No.: TPB/5652/RM/20-22/19
Dy. Town Planner
Town & Country Planning Dept.
Govt. of Goa, Mapusa

AREA STATEMENT

1)	AREA OF THE PLOT 3-B	3671.00 M2
2)	AREA OF THE PLOT 3-D	3671.00 M2
3)	AREA AFTER AMALGAMATION	7342.00 M2
4)	AREA UNDER ROAD WIDENING (PLOT 3B = 58.47 M2 + 3D = 57.9 M2)	116.37 M2
5)	AREA UNDER NDS (PLOT 3B = 22.73 M2 + 3D = 438.88 M2)	461.61 M2
6)	EFFECTIVE AREA OF PLOT [3 - (4 + 5)]	6764.02 M2
7)	PERMISSIBLE COVERAGE (40%) OF 6764.02 M2	2705.60 M2
PROPOSED COVERAGE :-		2705.60 M2
A)	APARTMENT BLOCK = 730.80 M2	
B)	TY. VILLAS 1,2,3 & 4 - 259.70 X 4 = 1038.80 M2	
C)	TY. VILLAS 5 & 6 - 146.85 X 2 = 293.70 M2	
8)	TOTAL PROPOSED COVERAGE (A + B + C) (30.50 %)	1039.30 M2
9)	PERMISSIBLE F.A.R (60 %) OF 6880.39 M2 (3 - 5)	4128.23 M2
10)	PROPOSED F.A.R. (50.58 %)	3480.30 M2
11)	OPEN SPACE REQUIRED 15%	1014.60 M2
12)	OPEN SPACE PROVIDED	1150.00 M2

APPROVED VIDE PERMISSIBLE COVERAGE
J.O. VP/RM/F/CONST/29/2019-20/1542
Date: 27/11/2022



Secretary
Village Panchayat Reismagos

FLOOR REF	USE	TOTAL B.U.A (m2)	AREAS FREE FROM F.A.R					TOTAL (m2)	NET FLOOR AREA (m2)	F.A.R (%)
			BALC /DECK (m2)	STAIR/LIFT PASSAGE (m2)	PARK (m2)	CLUB HOUSE 7.50% FREE OF F.A.R (m2)	TERRACE (m2)			
BASEMENT FLR.	PARK.	719.90	—	14.50	705.40	—	—	719.90	—	—
STILT/GROUND FLR.	RESI./PARK.	713.55	—	12.65	332.75	—	52.00	397.40	316.15	—
FIRST FLR.	RESI.	729.35	73.10	80.05	—	83.10	42.35	278.60	450.75	—
SECOND FLR.	RESI.	539.45	31.50	59.30	—	—	52.90	143.70	395.75	—
THIRD FLR.	RESI.	461.45	31.50	59.30	—	—	42.35	133.15	328.30	—
FOURTH FLR.	RESI.	341.70	21.00	57.10	—	—	68.15	146.25	195.45	—
TOTAL		3505.40	157.10	282.90	1038.15	83.10	257.75	1819.00	1686.40	—
TY. VILLAS 1,2,3 & 4	STILT FLR.	RESI./PARK.	75.80	—	2.25	60.00	—	62.25	13.55	—
	FIRST FLR. LEVEL 1	RESI.	152.40	—	—	—	—	—	152.40	—
	SECOND FLR. LEVEL 2	RESI.	150.90	—	—	—	—	—	150.90	—
	TOTAL		379.10	—	2.25	60.00	—	62.25	316.85	—
TOTAL X 4 NOS			1516.40	—	9.00	240.00	—	249.00	1267.40	—
TY. VILLAS 5 & 6	GROUND FLOOR	RESI.	131.35	—	19.60	—	—	19.60	111.75	—
	FIRST FLOOR	RESI.	129.70	6.70	16.50	—	19.50	42.70	87.00	—
	SECOND FLOOR	RESI.	88.75	6.70	11.65	—	11.90	30.25	58.50	—
	TOTAL		349.80	13.40	47.75	—	31.40	95.55	257.25	—
TOTAL X 2 NOS			699.60	26.80	95.50	—	62.80	185.10	514.50	—
SECURITY CABIN		6.00	—	—	—	—	—	—	6.00	—
TOTAL X 2 NOS		12.00	—	—	—	—	—	—	12.00	—
GRAND TOTAL		5733.40	183.90	387.40	1278.15	83.10	320.55	2253.10	3480.30	(50.58%)

CAR PARKING STATEMENT

APARTMENT BLOCK 25 UNITS = REQUIRED 25 NO OF CAR PARKS
RESIDENTIAL VILLAS 06 NOS = REQUIRED 06 NO OF CAR PARKS
TOTAL NO. OF CAR PARKS REQUIRED = 31 NOS.
TOTAL NO. OF CAR PARKS PROVIDED = 39 NOS.

79/3B license

- OFFICE OF THE VILLAGE PANCHAYAT REIS MAGOS- VP/RM/FCONST/29/2019-20/1542
- TOWN & COUNTRY PLANNING BOARD - TPB/5737/RM/TCP-19/5084
- PRIMARY HEALTH CENTRE CANDOLIM- PHCC/NOC-CONST/2019-20/2074
- SANAD CONVERSION - 4/228/CNV/AC- iii / 2019/164

79/3D license

- OFFICE OF THE VILLAGE PANCHAYAT REIS MAGOS VP/RM/FCONST/32/2019-20/1649
- TOWN & COUNTRY PLANNING BOARD TPB/5652/RM/TCP-2020/715
- PRIMARY HEALTH CENTRE CANDOLIM PHCC/NOC-CONST/2019-20/2082
- SANAD CONVERSION 4/229/CNV/AC- iii / 2019/165

AREA FOR INFRA STRUCTURE TAX

1) BUILT UP AREA =	4455.25 M2
2) SWIMMING POOL AREA :-	
a) APARTMENT BLOCK = 12.30X5.10=62.70M2	
b) VILLA NOS 1 TO 4 = 2.90X8.20=23.78X4=95.10M2	
c) VILLA NOS 5 & 6 = 6.30X3.15=19.85X2=39.70M2	
TOTAL SWIMMING POOL AREA (a+b+c) =	197.50 M2
TOTAL AREA FOR INFRA STRUCTURE TAX =	4652.75M2

PROJECT TITLE :

REVISED PLANS OF PROPOSED RESIDENTIAL CONSTRUCTION ON PLOT BEARING SY.NO. 79/ 3-B & 3-D, SITUATED AT- REIS-MAGOS VILLAGE OF BARDEZ TALUKA, GOA.

FOR- MR. ABRAHAM J. ABRAHAM

SUBMISSION DRAWING

OWNER SIGN

CONSULTANT SIGN

Abraham

PARESH GATONDE
BE/CIVIL ENGINEER
CHARTERED ENGINEER
T.C.P. Reg. No. EN/0057/2010