

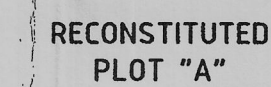
BALCONY		
B6	2X(1.40X1.40)	3.92 M ²
TOTAL OF BALCONY		3.92 M²

GROUND COVERAGE
FAR+STILT+STAIRCASE+BALCONY-VOID
373.12 M²



ENTRANCE FOYER		
P1	2X(1.60X1.50)	4.80 M ²
P2	2X(6.36X1.40)	17.80 M ²
TOTAL OF ENTRANCE FOYER		22.60 M ²

V1	5.40X3.00	16.20 M ²
V2	3.00X3.20	9.60 M ²
TOTAL OF VOID		25.80 M ²

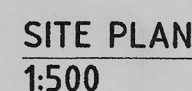


Please check order No. 1834 dated 20/11/2021 regarding the plan.

By: 20.04.2021
Town & Country Planning Dept.
South Goa Dist. Office, Margao Goa

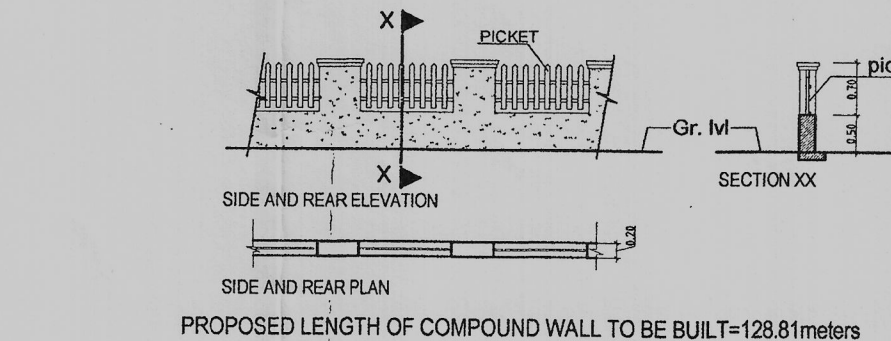
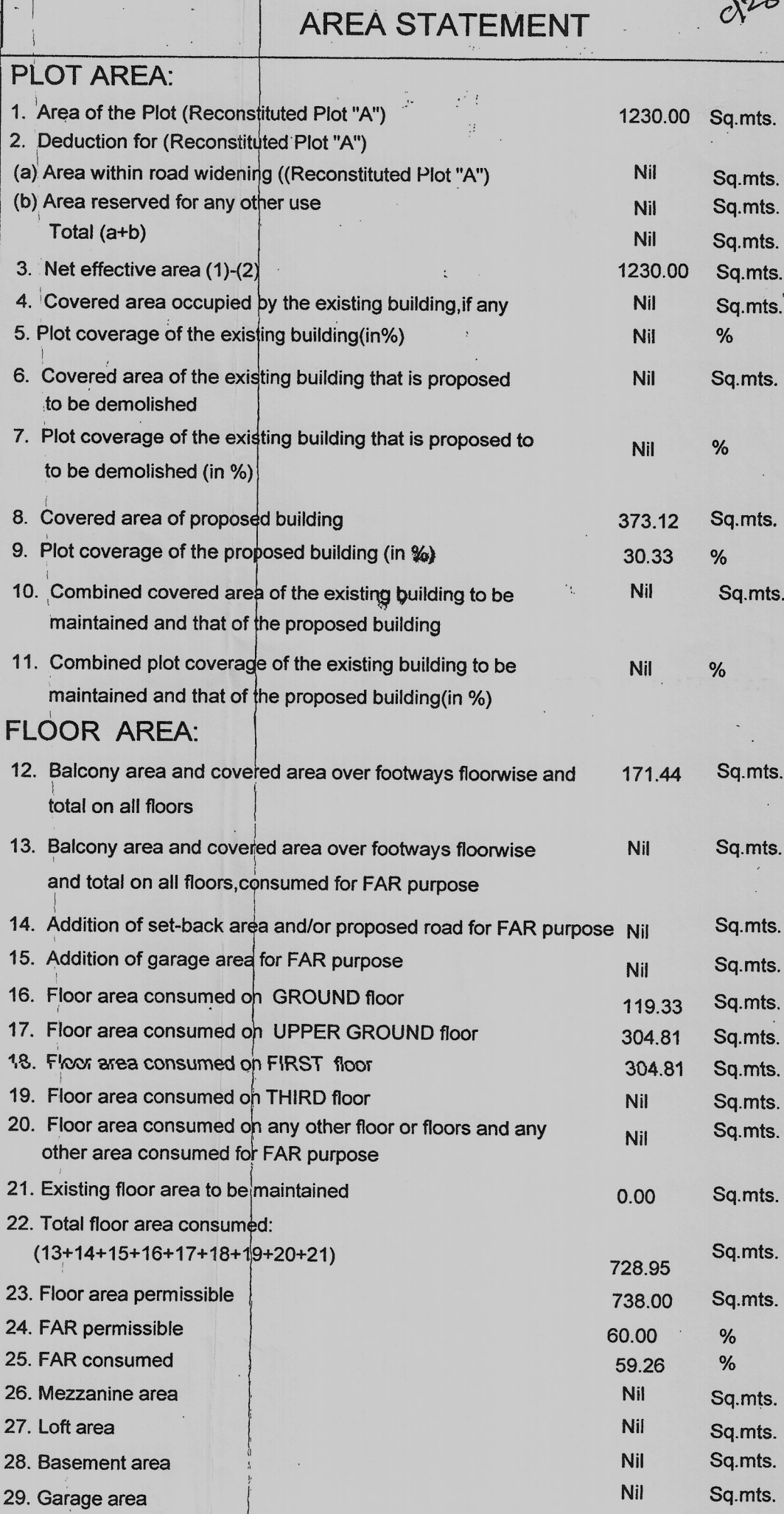
Floor % Reference	Use	Total builtup area M2	Open Terrace	Areas free from FAR						Net Floor Area sq.m.	FAR P %	Additional FAR ENTRANCE FOYER	Total Floor Area sq.m.	Additional FAR %
				Stairs.	Balc./ Ver.	Porch	Lift	Stilt	Total					
PROPOSED RESIDENTIAL BUILDING														
STILT FL.	Park./Res.	373.44	-	20.32	3.92	-	-	229.87	254.11	119.33	9.70%	--	119.33	9.70%
U. GR. FL.	Res.	431.49	-	20.32	83.76	-	-	-	104.08	304.81	24.78%	22.60	327.41	26.61%
FIRST FL.	Res.	431.49	-	20.32	83.76	-	-	-	104.08	304.81	24.78%	22.60	327.41	26.61%
TOTAL	Stilt/Res.	1236.42	-	60.96	171.44	-	-	229.87	462.27	728.95	59.26%	45.20	774.15	62.93%
31. Parking Details :														
PARKING DETAILS														
No. of Car Parks/ parking area														
FLOOR AREA/NO. OF UNITS		USE	Provided	Required										
Commercial		Comm.	0	0										
6 units (far upto 75.00 SQ.M.)		Res.	21	14										
Total no. of Parking		Comm./Res.	21	14										
32. Type of zone to which the plot belongs to														
SETTLEMENT zone														
SETBACKS:														
33. Front setback from the center line of road (5.00+3.00)= 8.00M mts.														
34. Side setbacks:														
(a) 3.50 mts.														
(b) 4.00 mts.														
35. Distance between two or more building on the same plot, if any 0.00 mts.														
36. Height of the plinth 0.50 mts.														
37. Use to which the building is to be put to floor-wise : Ground floor : Residential/Stilt Upper Ground floor : Residential First floor : Residential														
38. Plot owned by with reference to the ownership certificate of land :														
39. Reference number and date of approval of sub-division of land, if any plot in question is part of sub-division.														
40. Any other information														

AREA FOR INFRASTRUCTURE TAX= 1006.55 (B.U.A.) - 229.87 (STILT)

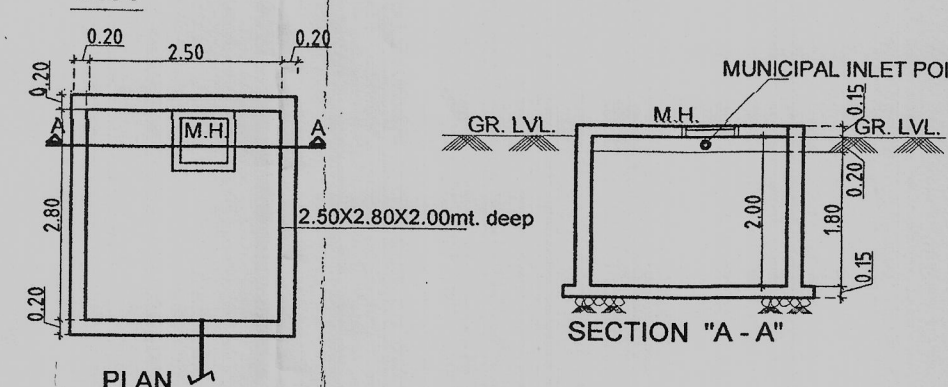


PARKING LAYOUT

1:500



UG TANK DETAILS
1:100



SCHEDULE OF OPENINGS
DOORS

TYPE	SIZE		LINTEL
	W	HT.	
D1	1.00	2.50	2.50
D2	0.90	2.20	2.20
D3	0.75	2.20	2.20
FD1	3.60	2.50	2.50
FD2	3.00	2.50	2.50
FD3	2.90	2.50	2.50

TYPE	SIZE		SILL	LINTEL
	W	HT.		
W1	1.20	1.40	1.10	2.50
W2	0.80	1.40	1.10	2.50
W3	2.90	1.60	0.90	2.50

SCHEDULE OF OPENINGS-VENTILATOR			
TYPE	SIZE		SILL
V	W	HT.	
V1	0.60	1.00	1.20

SAWANT & ASSOCIATES
ARCHITECTS, ENGINEERS
INTERIOR DESIGNERS
SAPANA ARCADE, 1ST FLOOR
MALBHAT, GOA.
PHONE NO. (0): 2736693

PROJECT : PROPOSED RESIDENTIAL BUILDING &
COMPOUND WALL AT NAVELIM, SALCETE -GOA.

JOB NO-2311	SURVEY NO.90/8
DATE: 02.02.2021	DRG. NO. 718 / 1

DATE RECEIVED	DRG. NO-718 / 1
DEALT-LEEANN	SCALE- 1:100,1:500.

OWNER'S SIGNATURE :
MRS. FILOMENA DIAS ALIAS
PHILOMENA FERNANDES ALIAS FILU
& MR. RYAN ABEL PAUL FERNANDES
ALIAS RYAN FERNANDES

Aurita Dias

ENGINEER'S SIGNATURE : *UDAY*
UDAY SAWANT
B.E.(CIVIL)
Reg. No. ER/0022/2010

