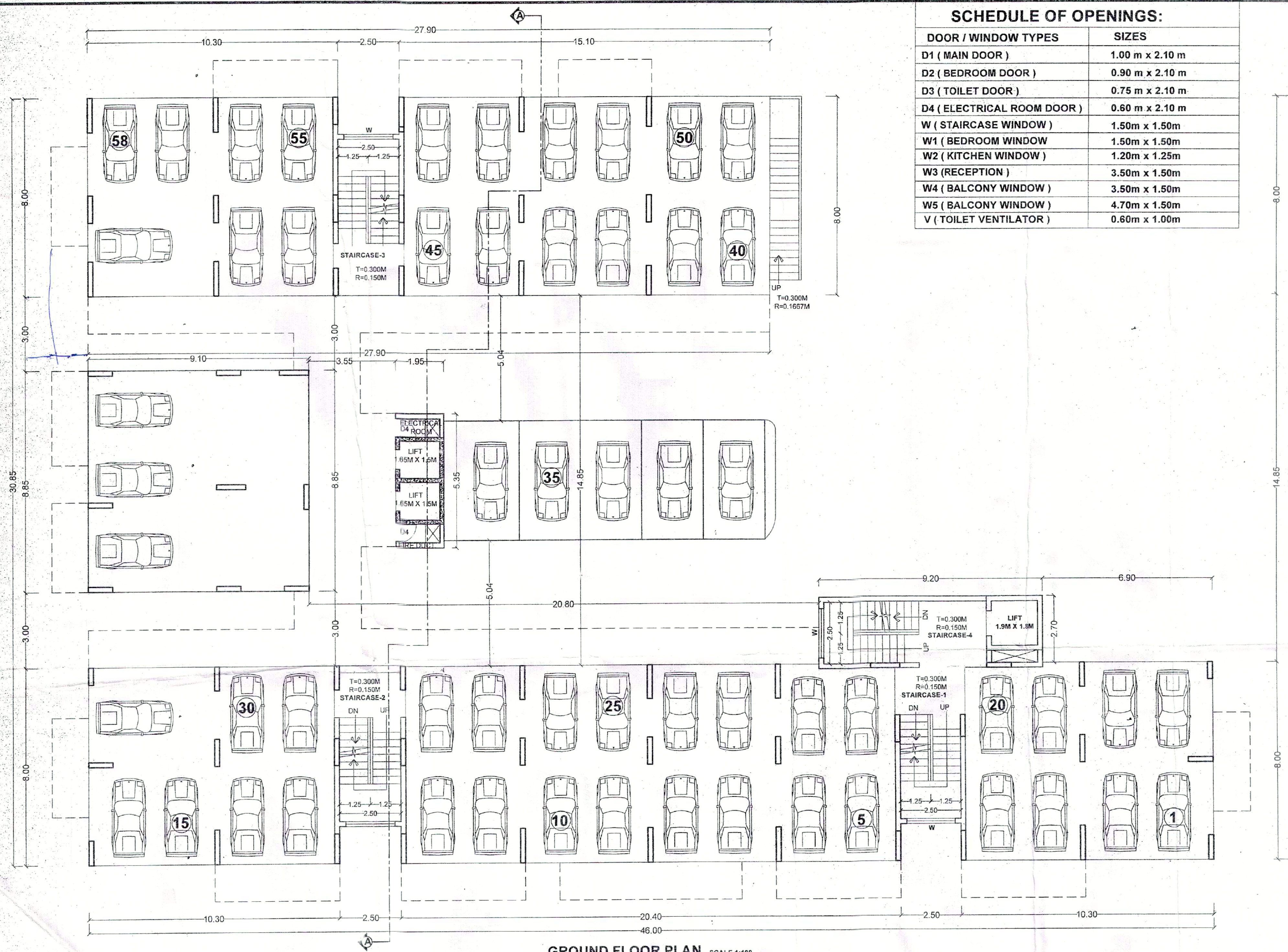
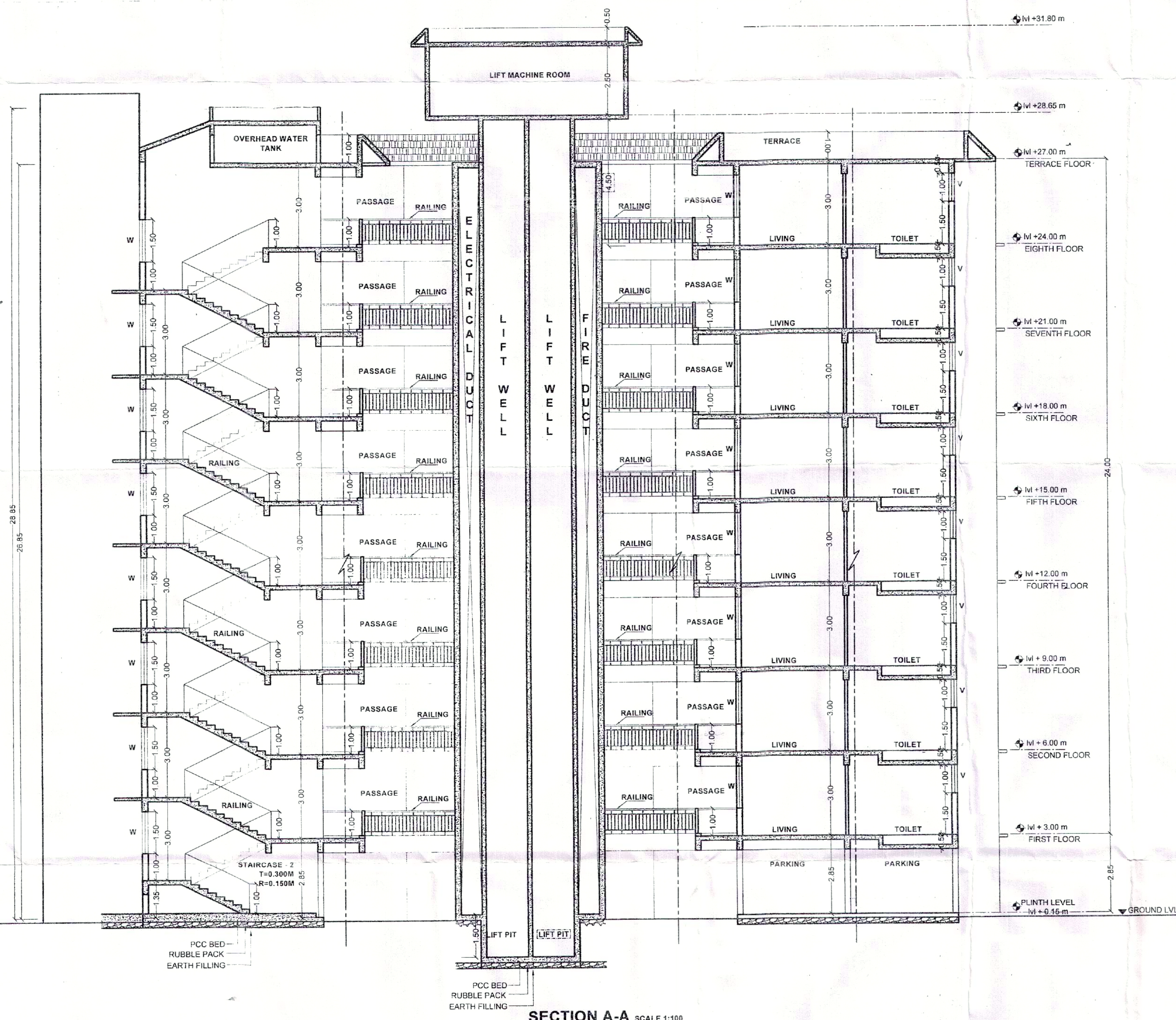




SCHEDULE OF OPENINGS:	
DOOR / WINDOW TYPES	SIZES
D1 (MAIN DOOR)	1.00 m x 2.10 m
D2 (BEDROOM DOOR)	0.90 m x 2.10 m
D3 (TOILET DOOR)	0.75 m x 2.10 m
D4 (ELECTRICAL ROOM DOOR)	0.60 m x 2.10 m
W (STAIRCASE WINDOW)	1.50m x 1.50m
W1 (BEDROOM WINDOW)	1.50m x 1.50m
W2 (KITCHEN WINDOW)	1.20m x 1.25m
W3 (RECEPTION)	3.50m x 1.50m
W4 (BALCONY WINDOW)	3.50m x 1.50m
W5 (BALCONY WINDOW)	4.70m x 1.50m
V (TOILET VENTILATOR)	0.60m x 1.00m

GROUND FLOOR PLAN SCALE 1:100



SECTION A-A SCALE 1:100

Approved proposed construction/
Sub-Division prior Licence
No. V.P.C.H. 11/2018-19/07/362 dated 21/04/2018
Resolution No. 902
Meeting Held on: 16/04/2018

Secretary
V.P. CHICALIM

APPROVED
FOR
DEVELOPMENT PERMISSION
Regd. Order No. 11/2018-19/07/362 dated 21/04/2018
Date: 21/04/2018

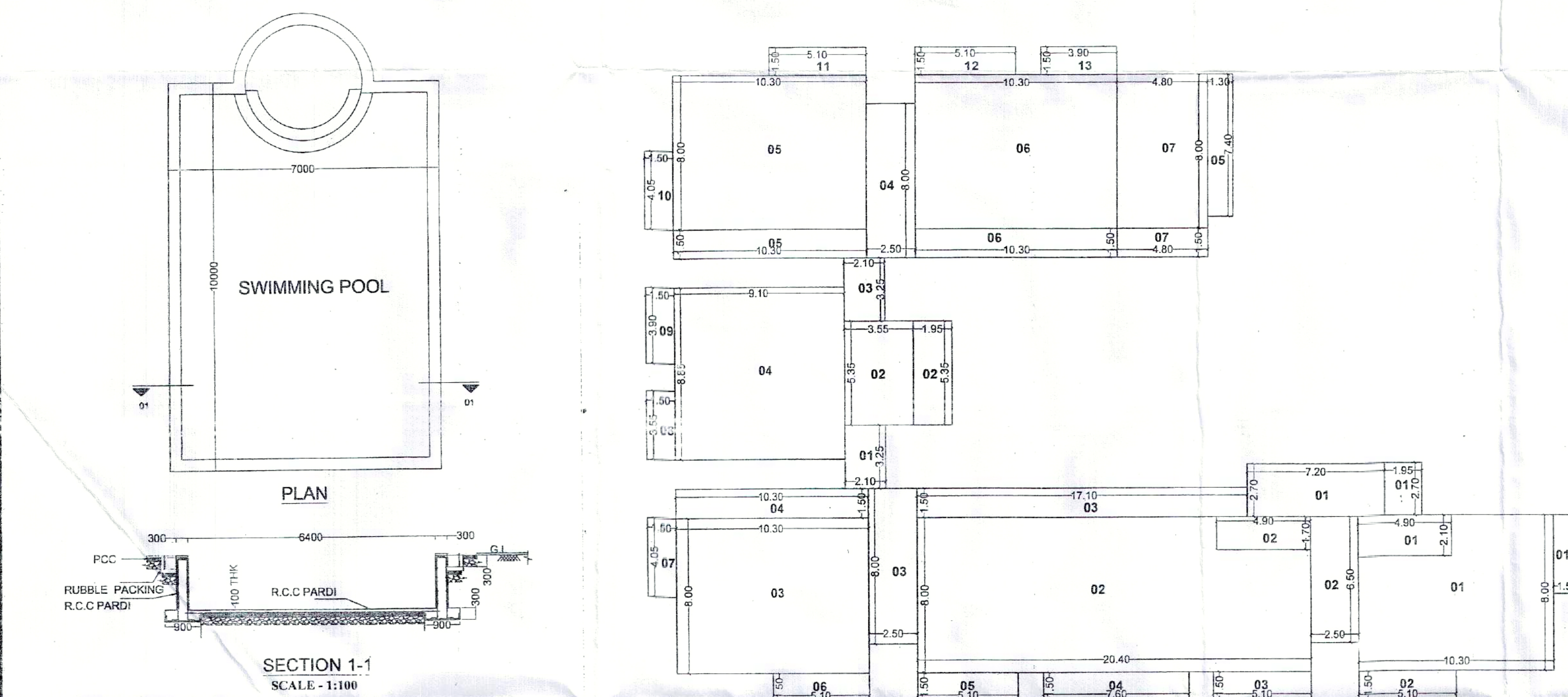
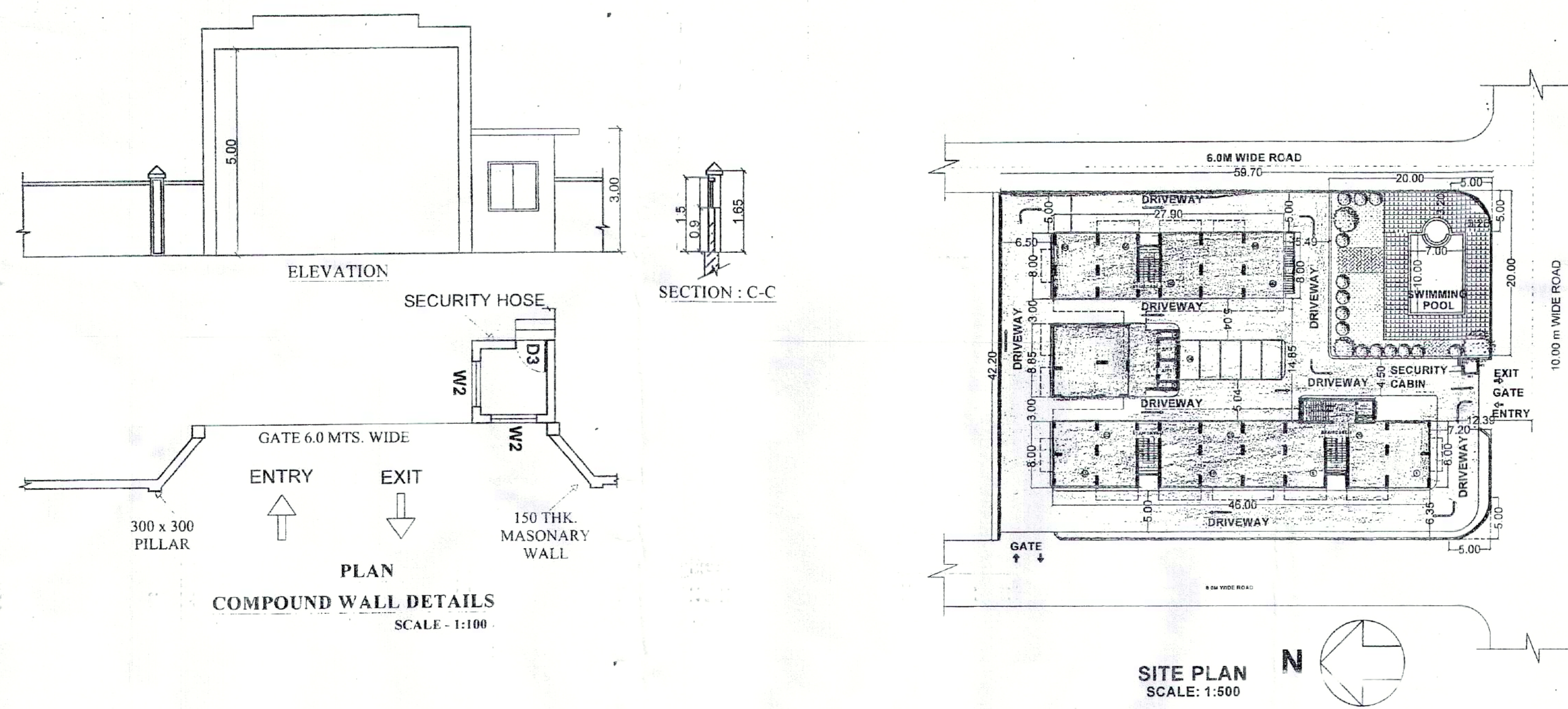
MEMBER SECRETARY

DATE - 19-03-2018	DRAWN BY - MEHBOOB
DWG NO - 03/R3	CHECKED - NILESH SALKAR
DRAWING - GROUND FLOOR PLAN & SECTION A-A	
CLIENT - M/S V.T. HOTELS PVT. LTD.	
PROJECT - PROPOSED HOTEL FOR M/S V.T. HOTELS AT JA'IRAMNAGAR (REVISED PLANS)	
LOCATION - PLOT BEARING SURVEY NO 231, BLOCK M, DABOLIM VILLAGE, MORMUGAO TALUKA, GOA	

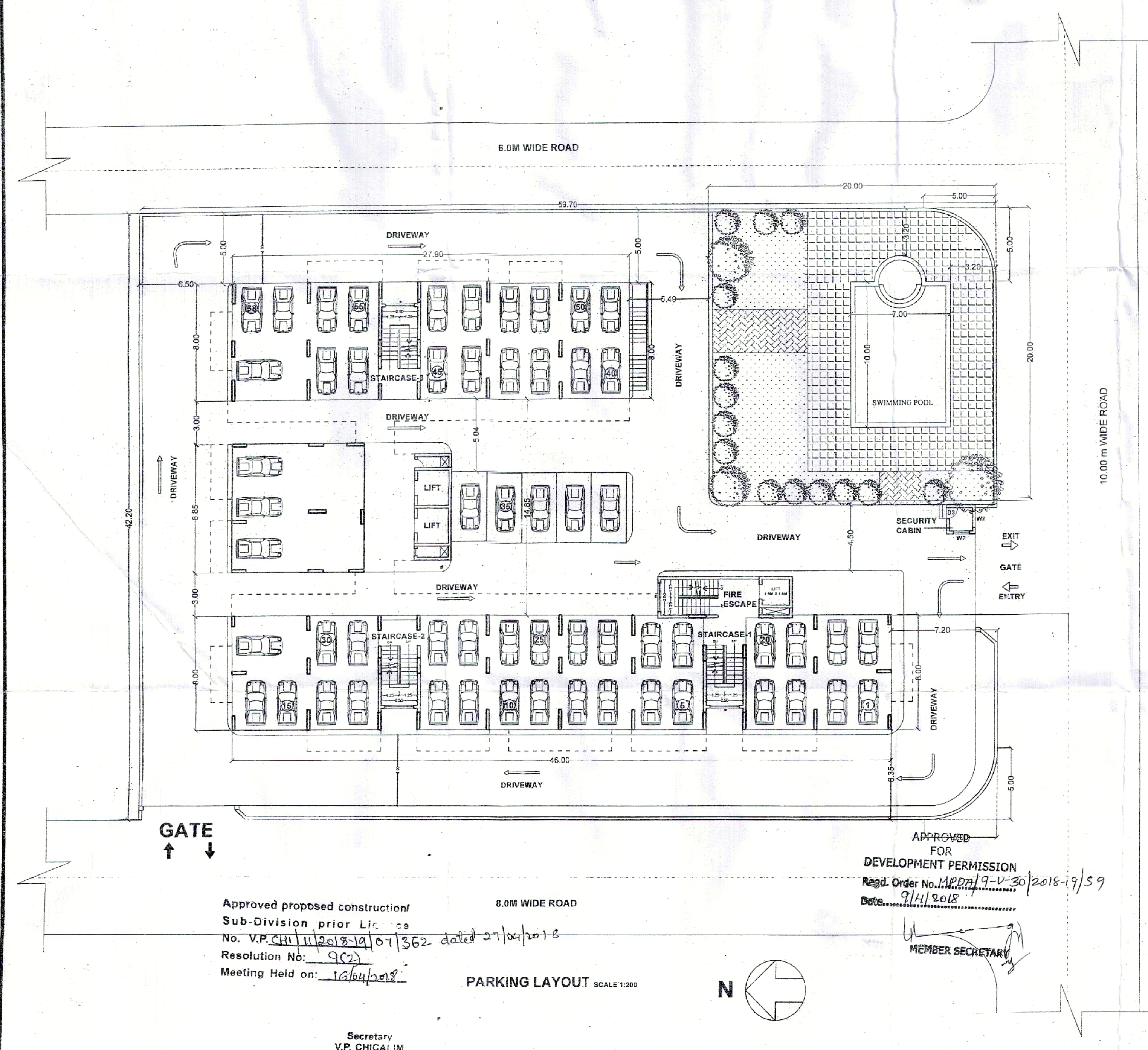
SIGN OF ARCHITECT
SIGN OF OWNER
For M/s V.T. HOTELS & RESORTS PVT. LTD.
Nilesh Salkar Associates
CA/89/12746
AP/0104/2011
Authorized Signatory

nilesh salkar associates
architecture - engineering - interior design - valuation

ground floor, hotel manish, f.l. gomes road, vasco - da - gama, goa 403802
tel: +91 832 251 11 10, fax: +91 832 251 29 87, email: nilesh.salkar@gmail.com



AREA LINE DIAGRAM & CALCULATION
SCALE: 1:200



AREA STATEMENT

Area of the plot under C1 zone	2106.00 sq. mts.	A
Area of the plot under recreational zone	397.00 sq. mts.	B
Total Area of the plot A+B	2503.00 sq. mts.	
Deduction for (a) Area within road widening/proposed (b) Area reserved for any other use	— sq. mts.	
Effective area of plot (01-02) Whether any extra far is claimed on the basis of road widening/proposed road. If 'Yes', state	— sq. mts.	No
(a) Area of road widening (b) Whether the land has gifted to the local body	— sq. mts.	No
Area occupied by the existing building in the plot	— sq. mts.	
Area of the building to be demolished	— sq. mts.	
Covered area of proposed building	745.375 sq. mts.	
Total coverage %	29.77% sq. mts.	
F.A.R.		
Floor area on all floors + Club house	4491.77 sq. mts.	
Total	4491.77 sq. mts.	
Permissible F.A.R (2106.0x2 + 397.0x1)	4609.00 sq. mts.	
Used F.A.R	194.91	
SWIMMING POOL AREA	75.15 sq. mts.	
Parking details		
Parking required	Parking provided	
26 nos.	56 nos.	

DETAILS OF AREA AND USE FLOOR WISE

FLOOR	USE	TOTAL B.U.A.	FLOOR AREA	AREA FREE FROM F.A.R.						F.A.
				LIFT	STR	BALCONY	PASSAGE	LOBBY	PARK	
		SQM	SQM	SQM	SQM	SQM	SQM	SQM	SQM	SQM
STILL FLR	PARK	694.11	15.69	15.69	85.31	—	—	—	593.11	15.69
1ST	RES	920.12	593.11	15.69	85.31	95.55	97.82	32.64	—	593.11
2ND	RES	864.90	554.71	15.69	75.69	95.55	90.62	32.64	—	554.71
3RD	RES	864.90	554.71	15.69	75.69	95.55	90.62	32.64	—	554.71
4TH	RES	864.90	554.71	15.69	75.69	95.55	90.62	32.64	—	554.71
5TH	RES	864.90	554.71	15.69	75.69	95.55	90.62	32.64	—	554.71
6TH	RES	864.90	554.71	15.69	75.69	95.55	90.62	32.64	—	554.71
7TH	RES	864.90	554.71	15.69	75.69	95.55	90.62	32.64	—	554.71
8TH	RES	864.90	554.71	15.69	75.69	95.55	90.62	32.64	—	554.71
TOTAL	—	7668.53	4491.77	141.2	700.45	764.40	732.16	261.12	593.11	1449.17

F.A.R.
 1. 10.30 X 8.00 - (4.90X2.10) = 72.11
 2. 20.40 X 8.00 - (4.90X1.70) = 154.87
 3. 10.30 X 8.00 = 82.40
 4. 9.10 X 8.85 = 80.535
 5. 10.30 X 8.00 = 82.40
 6. 10.30 X 8.00 = 82.40
 7. 4.80 X 8.00 = 38.40 (ON FIRST FLOOR ONLY)
 TOTAL = 593.11 Sqmt
 2nd TO 8th FLOOR = 554.71 Sqmt

LIFT AREA
 1. 1.95 X 2.70 = 5.265
 2. 1.95 X 5.35 = 10.43
 TOTAL = 15.69 Sqmt

STAIRCASE AREA
 1. 7.20 X 2.70 = 19.44
 2. 2.50 X 6.50 = 16.25
 3. 2.50 X 8.00 = 20.00
 4. 2.50 X 8.00 = 20.00
 5. 1.30 X 7.40 = 9.62 (ON FIRST FLOOR ONLY)
 TOTAL = 85.31 Sqmt
 2nd TO 8th FLOOR = 75.69 Sqmt

BALCONY AREA
 1. 1.50 X 4.05 = 6.075
 2. 1.50 X 5.10 = 7.65
 3. 1.50 X 5.10 = 7.65
 4. 1.50 X 7.80 = 11.40
 5. 1.50 X 5.10 = 7.65
 6. 1.50 X 5.10 = 7.65
 7. 1.50 X 4.05 = 6.075
 8. 1.50 X 3.55 = 5.325
 9. 1.50 X 3.90 = 5.85
 10. 1.50 X 4.05 = 6.075
 11. 1.50 X 5.10 = 7.65
 12. 1.50 X 5.10 = 7.65
 13. 1.50 X 3.90 = 5.85
 TOTAL = 95.55 Sqmt

PASSAGE AREA
 1. 4.90 X 2.10 = 10.29
 2. 4.90 X 1.70 = 8.33
 3. 17.10 X 1.50 = 25.65
 4. 10.30 X 1.50 = 15.45
 5. 10.30 X 1.50 = 15.45
 6. 10.30 X 1.50 = 15.45
 7. 4.8 X 1.50 = 7.20 (ON FIRST FLOOR ONLY)
 TOTAL = 97.82 Sqmt
 2nd TO 8th FLOOR = 90.62 Sqmt

LOBBY AREA
 1. 2.10 X 3.25 = 6.825
 2. 3.55 X 5.35 = 18.99
 3. 2.10 X 3.25 = 6.825
 TOTAL = 32.64 Sqmt

SCALE - 1:200 / 1:500	DRAWN BY - MEHBOOB
DATE - 19-03-2018	CHECKED - NILESH SALKAR
DWG NO - 01/R1	
DRAWING - PARKING LAYOUT & SITE PLAN	
CLIENT - M/S V.T. HOTELS PVT. LTD.	
PROJECT - PROPOSED HOTEL FOR M/S V.T. HOTELS AT JAIRAMNAGAR (REVISED PLANS)	
LOCATION - PLOT BEARING SURVEY NO 23/1, BLOCK M, DABOLIM VILLAGE, MORMUGAO TALUKA, GOA	

SIGN OF ARCHITECT
 Nishesh Salkar Associates
 CAJBM/2748
 AR/20104/2011
 SIGN OF OWNER
 For M/s V.T. HOTELS & RESORTS PVT. LTD.
 Authorised Signatory
 nilesh salkar associates
 architecture - engineering - interior design - valuation
 ground floor, hotel manish, f.l.gomes road, Vasco - da - gama, goa 403802
 tel: +91 832 251 11 10, fax: +91 832 251 29 87, email: nilesh.salkar@gmail.com



WEST SIDE ELEVATION



NORTH SIDE ELEVATION

APPROVED
FOR
DEVELOPMENT PERMISSION
Regd. Order No. 16/2018-19/59
Date: 11.11.2018

MEMBER SECRETARY

SCHEDULE OF OPENINGS:

DOOR / WINDOW TYPES	SIZES
D1 (MAIN DOOR)	1.00 m x 2.10 m
D2 (BEDROOM DOOR)	0.90 m x 2.10 m
D3 (TOILET DOOR)	0.75 m x 2.10 m
D4 (ELECTRICAL ROOM DOOR)	0.60 m x 2.10 m
W (STAIRCASE WINDOW)	1.50m x 1.50m
W1 (BEDROOM WINDOW)	1.50m x 1.50m
W2 (KITCHEN WINDOW)	1.20m x 1.25m
W3 (RECEPTION)	3.50m x 1.50m
W4 (BALCONY WINDOW)	3.50m x 1.50m
W5 (BALCONY WINDOW)	4.70m x 1.50m
V (TOILET VENTILATOR)	0.60m x 1.00m

Approved proposed construction/
Sub-Division prior Licence
No. V.P. 11/2018-19/07/502 dated 21/04/2018
Resolution No. 963
Meeting Held on: 16/01/2018

Secretary
V.P. CHICALI

SCALE - 1:100
DATE - 19-03-2018
DWG NO - 04/R4
DRAWING - ELEVATION
CLIENT - M/S V.T. HOTELS PVT. LTD.
PROJECT - PROPOSED HOTEL FOR M/S V.T. HOTELS
AT JAIRAMNAGAR (REVISED PLANS)
LOCATION - PLOT BEARING SURVEY NO 231, BLOCK M,
DABOLIM VILLAGE, MORMUGAO TALUKA, GOA

SIGN OF ARCHITECT

SIGN OF OWNER

Nilesh Salkar
Nilesh Salkar Associates
CA/89/12746
AP/0104/2011

For M/s V.T. HOTELS & RESORTS PVT. LTD.

Mithu
Authorized Signatory

nilesh salkar associates
architecture - engineering - interior design - valuation

ground floor, hotel manish, f. l. gomes road, vasco - da - gama, goa 403802
tel : +91 832 251 11 10, fax : +91 832 251 29 87, email : nilesh.salkar@gmail.com



Approved proposed construction/
Sub-Division prior Licence
No. V.P. CHICALIM/19/01/362 dated 27/04/2018
Resolution No. 9/2
Meeting Held on: 16/04/2018

Secretary
V.P. CHICALIM

DEVELOPMENT PERMISSION
Regd. Order No. 19-03-2018-19/01/362 dated 27/04/2018
Date: 19/04/2018

MEMBER SECRETARY

SCALE - 1:100
DATE - 19-03-2018

DRAWN BY - MEHBOOB
CHECKED - NILESH SALKAR

DWG NO 02/R2
DRAWING - FIRST FLOOR & TYPICAL FLOOR PLAN 2nd to 8th

CLIENT - M/S V.T. HOTELS PVT. LTD.

PROJECT - PROPOSED HOTEL FOR M/S V.T. HOTELS
AT JAIRAMNAGAR (REVISED PLANS)

LOCATION - PLOT BEARING SURVEY NO 231, BLOCK M,
DABOLIM VILLAGE, MORMUGAO TALUKA, GOA

SIGN OF ARCHITECT

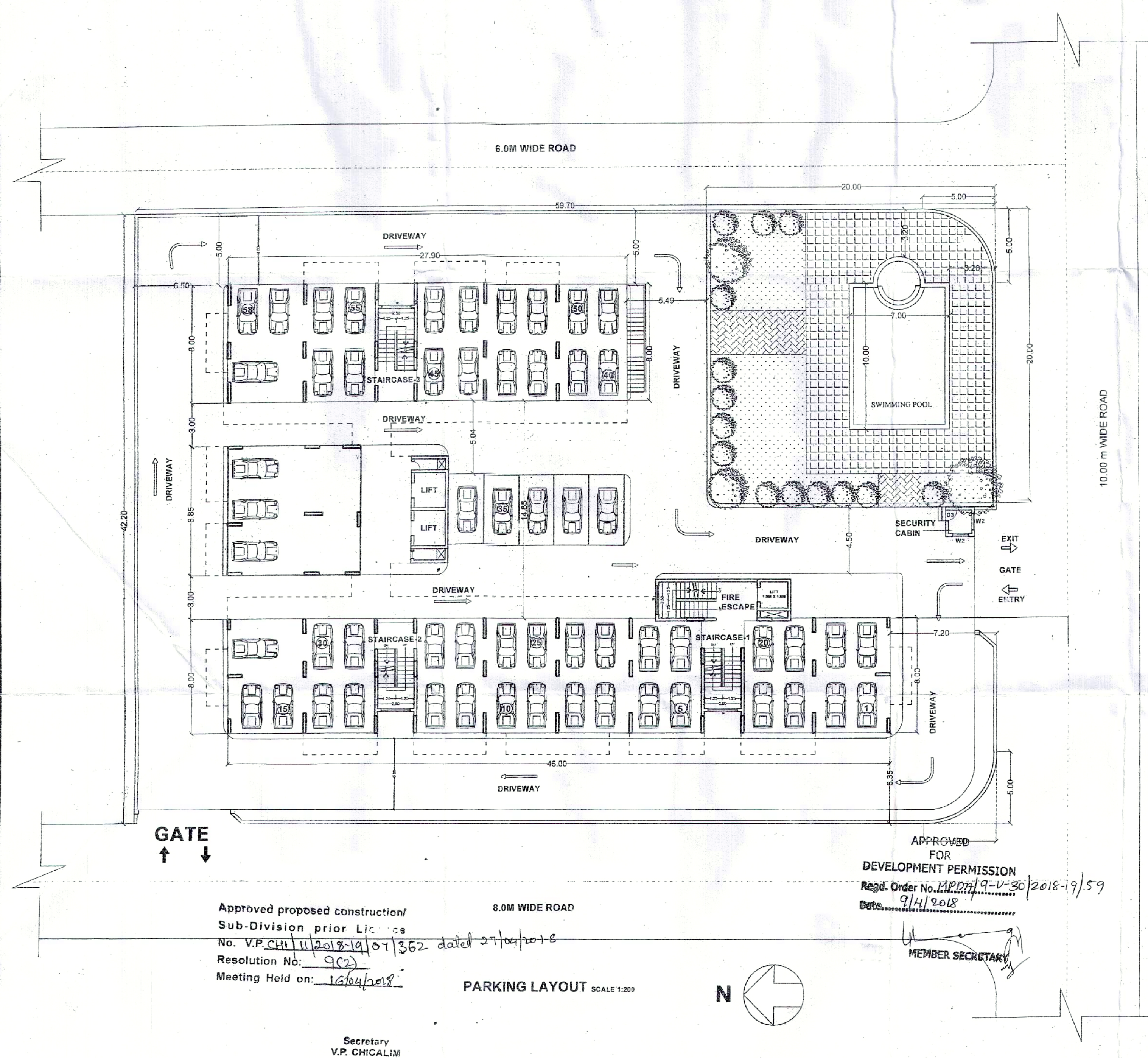
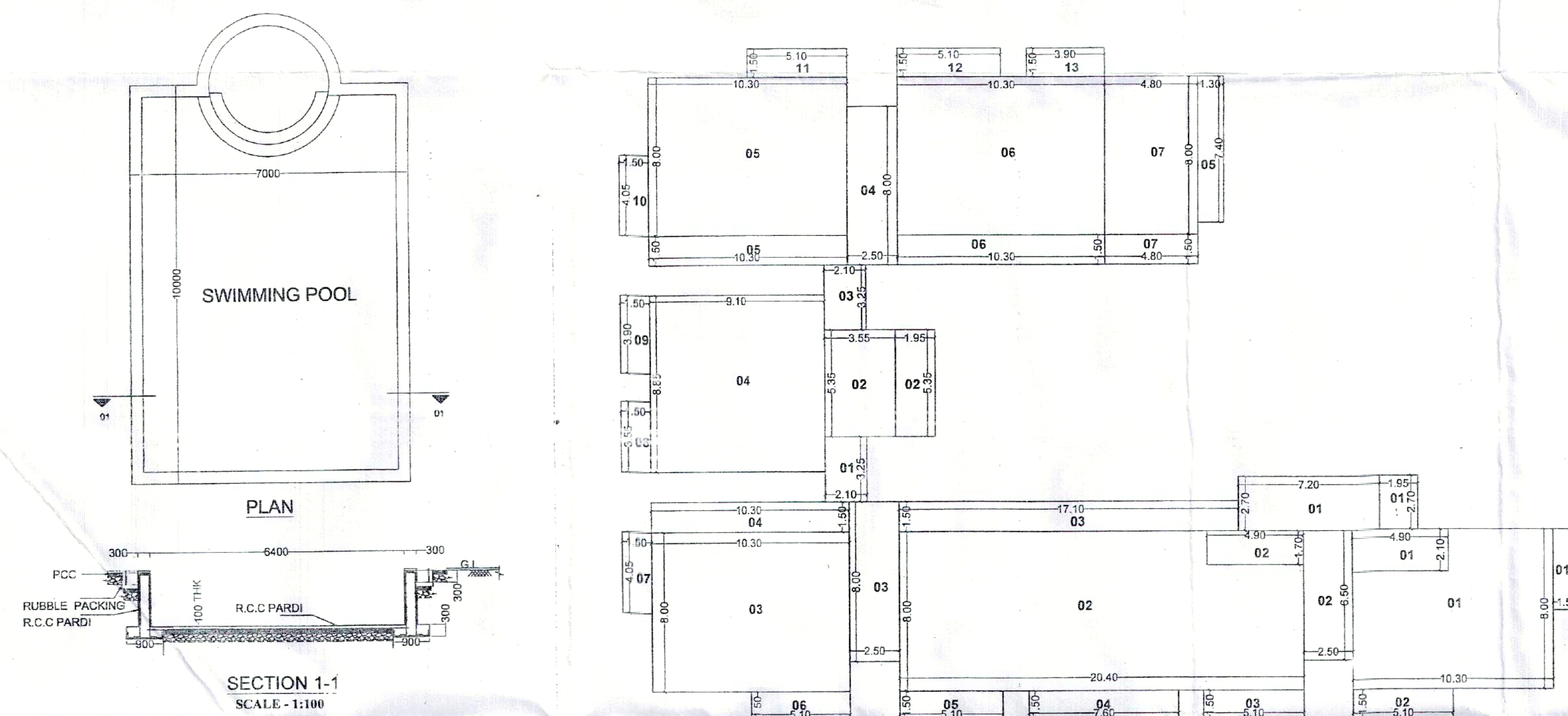
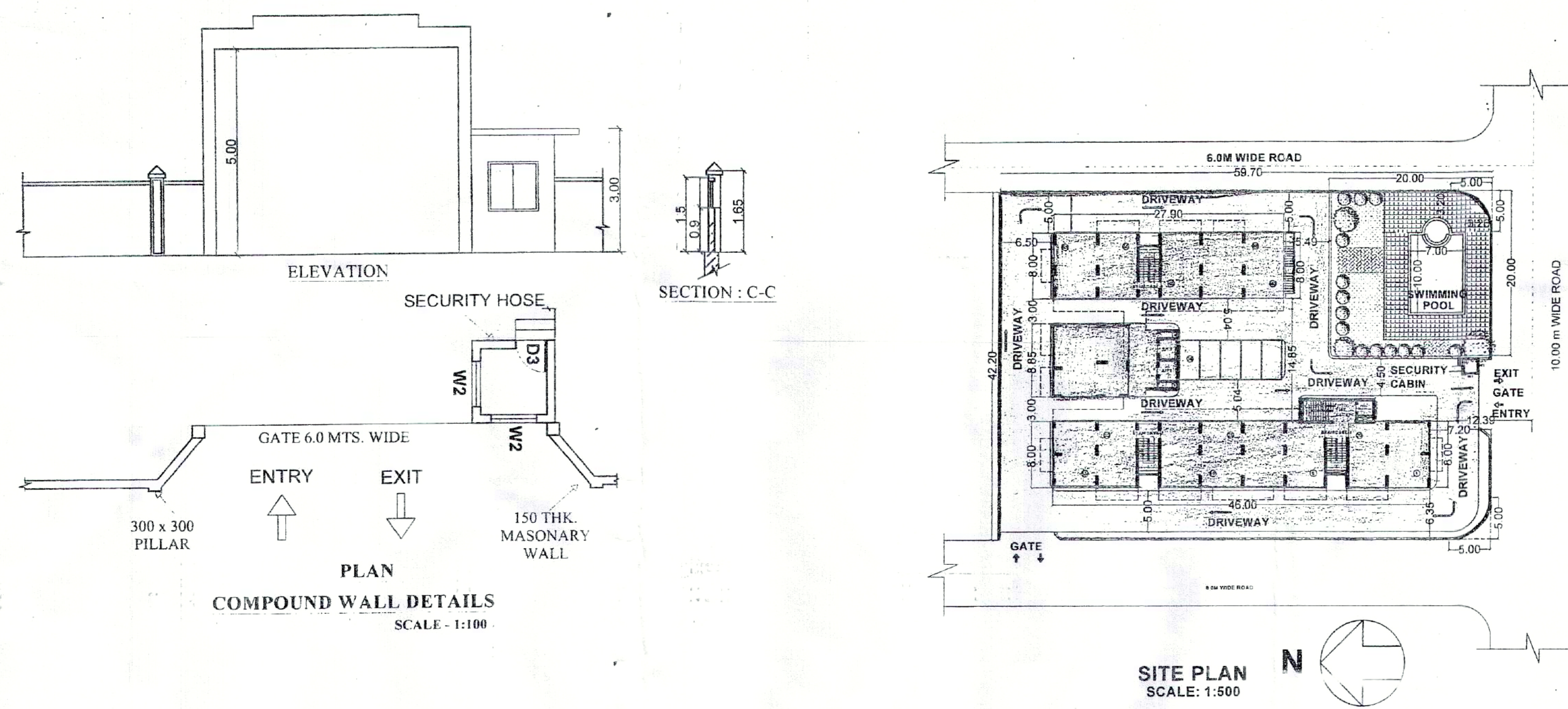
SIGN OF OWNER

Nilesh Salkar Associates
CA/89/12748
AP/01/04/2011

For M/s V.T. HOTELS & RESORTS PVT. LTD.

Nilesh Salkar Associates
architecture - engineering - interior design - valuation

ground floor, hotel manish, f. l. gomes road, vasco - da - gama, goa 403802
tel: +91 832 251 11 10, fax: +91 832 251 29 87, email: nilesh.salkar@gmail.com



AREA STATEMENT

Area of the plot under C1 zone	2106.00 sq. mts.	A
Area of the plot under recreational zone	397.00 sq. mts.	B
Total Area of the plot	A+B	2503.00 sq. mts.
Deduction for (a) Area within road widening/proposed (b) Area reserved for any other use		sq. mts.
Effective area of plot (01-02)		sq. mts.
Whether any extra far is claimed on the basis of road widening/proposed road. If 'Yes', state	No	
(a) Area of road widening (b) Whether the land has gifted to the local body	No	
Area occupied by the existing building in the plot		sq. mts.
Area of the building to be demolished		sq. mts.
Covered area of proposed building	745.375 sq. mts.	
Total coverage %	29.77%	sq. mts.
F.A.R.		
Floor area on all floors + Club house	4491.77 sq. mts.	
Total	4491.77 sq. mts.	
Permissible F.A.R (2106.0x2 + 397.0x1)	4609.00 sq. mts.	
Used F.A.R	194.91	
SWIMMING POOL AREA	75.15 sq. mts.	
Parking details		
Parking required	Parking provided	
26 nos.	56 nos.	

DETAILS OF AREA AND USE FLOOR WISE

FLOOR	USE	TOTAL B.U.A.	FLOOR AREA	AREA FREE FROM F.A.R.						F.A.	
				LIFT	STR	BALCONY	PASSAGE	LOBBY	PARK		
		SQM	SQM	SQM	SQM	SQM	SQM	SQM	SQM	SQM	
STILL FLR	PARK	694.11	15.69	15.69	85.31	-	-	-	-	593.11	15.69
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4TH	RES	864.90	554.71	15.69	75.69	95.55	90.62	32.64	-	554.71	15.69
5TH	RES	864.90	554.71	15.69	75.69	95.55	90.62	32.64	-	554.71	15.69
6TH	RES	864.90	554.71	15.69	75.69	95.55	90.62	32.64	-	554.71	15.69
7TH	RES	864.90	554.71	15.69	75.69	95.55	90.62	32.64	-	554.71	15.69
8TH	RES	864.90	554.71	15.69	75.69	95.55	90.62	32.64	-	554.71	15.69
TOTAL	-	7668.53	4491.77	141.2	700.45	764.40	732.16	261.12	593.11	4491.77	15.69

F.A.R.

1. 10.30 X 8.00 - (4.90X2.10) = 72.11

2. 20.40 X 8.00 - (4.90X1.70) = 154.87

3. 10.30 X 8.00 = 82.40

4. 9.10 X 8.85 = 80.535

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6. 10.30 X 8.00 = 82.40

7. 4.80 X 8.00 = 38.40 (ON FIRST FLOOR ONLY)

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2nd TO 8th FLOOR = 554.71 Sqmt

LIFT AREA

1. 1.95 X 2.70 = 5.265

2. 1.95 X 5.35 = 10.43

TOTAL = 15.69 Sqmt

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TOTAL = 85.31 Sqmt

2nd TO 8th FLOOR = 75.69 Sqmt

BALCONY AREA

1. 1.50 X 4.05 = 6.075

2. 1.50 X 5.10 = 7.65

3. 1.50 X 5.10 = 7.65

4. 1.50 X 7.80 = 11.40

5. 1.50 X 5.10 = 7.65

6. 1.50 X 5.10 = 7.65

7. 1.50 X 4.05 = 6.075

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9. 1.50 X 3.90 = 5.85

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12. 1.50 X 5.10 = 7.65

13. 1.50 X 3.90 = 5.85

TOTAL = 95.55 Sqmt

PASSAGE AREA

1. 4.90 X 2.10 = 10.29

2. 4.90 X 1.70 = 8.33

3. 17.10 X 1.50 = 25.65

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7. 4.8 X 1.50 = 7.20 (ON FIRST FLOOR ONLY)

TOTAL = 97.82 Sqmt

2nd TO 8th FLOOR = 90.62 Sqmt

LOBBY AREA

1. 2.10 X 3.25 = 6.825

2. 3.55 X 5.35 = 18.99

3. 2.10 X 3.25 = 6.825

TOTAL = 32.64 Sqmt

SCALE - 1:200 / 1:500	DRAWN BY - MEHBOOB
DATE - 19-03-2018	CHECKED - NILESH SALKAR
DWG NO - 01/R1	
DRAWING - PARKING LAYOUT & SITE PLAN	
CLIENT - M/S V.T. HOTELS PVT. LTD.	
PROJECT - PROPOSED HOTEL FOR M/S V.T. HOTELS AT JAIRAMNAGAR (REVISED PLANS)	
LOCATION - PLOT BEARING SURVEY NO 23/1, BLOCK M, DABOLIM VILLAGE, MORMUGAO TALUKA, GOA	

SIGN OF ARCHITECT

SIGN OF OWNER

Nilesh Salkar Associates

CAJBM/2748

AP/0104/2011

nilesh salkar associates

architecture - engineering - interior design - valuation

ground floor, hotel manish, f.l.gomes road, Vasco - da - gama, goa 403802

tel: +91 832 251 11 10, fax: +91 832 251 29 87, email: nilesh.salkar@gmail.com