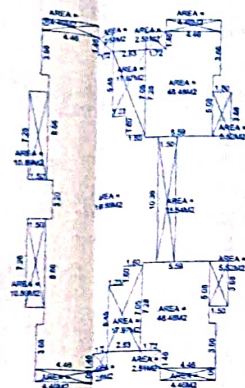


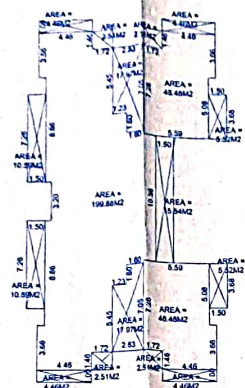
AREA DIAGRAM OF LOWER GROUND FLOOR

TOTAL BUILT UP AREA = 332.78m²
 deducted area of staircase = 42.87m²
 deducted area of Sill = 289.90m²
 AREA FOR COVERAGE = 332.78m²
 AREA FOR FAR = 274.00m²
 Commercial area for infrastructure tax = 42.87m²



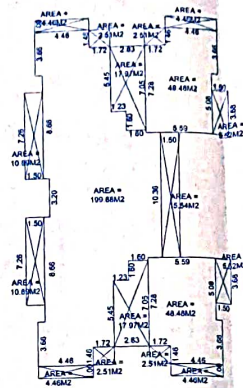
AREA DIAGRAM OF UPPER GROUND FLOOR

TOTAL BUILT UP AREA = 409.10m²
 deducted area of staircase = 35.94m²
 deducted area of Balcony = 76.32m²
 deducted area of Balcony = 76.32m²
 AREA FOR FAR = 296.84m²
 Commercial area for infrastructure tax = 409.10m²



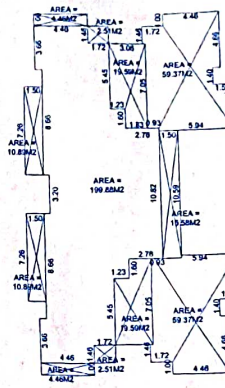
AREA DIAGRAM OF FIRST FLOOR

TOTAL BUILT UP AREA = 409.10m²
 deducted area of staircase = 35.94m²
 deducted area of Balcony = 76.32m²
 AREA FOR FAR = 296.84m²
 Commercial area for infrastructure tax = 409.10m²



AREA DIAGRAM OF SECOND FLOOR

TOTAL BUILT UP AREA = 409.10m²
 deducted area of staircase = 35.94m²
 deducted area of Balcony = 76.32m²
 AREA FOR FAR = 296.84m²
 Commercial area for infrastructure tax = 409.10m²



AREA DIAGRAM OF THIRD FLOOR

TOTAL BUILT UP AREA = 409.10m²
 deducted area of staircase = 35.94m²
 deducted area of Balcony = 76.32m²
 deducted area of open terrace = 118.74m²
 AREA FOR FAR = 296.84m²
 Commercial area for infrastructure tax = 409.10m²

AREA STATEMENT

SR.NO	DESCRIPTION	AREA	UNITS
1	AREA OF PLOT	1100.00	sq.mt
2	AREA UNDER FSW	89.28	sq.mt
3	NET EFFECTIVE AREA FOR COVERAGE	1011.72	sq.mt
4	TOTAL COVERED AREA OF PROPO. BUILDING	332.78	sq.mt
5	COVERAGE CONSUMED	32.89	%
6	COVERAGE PERMISSIBLE (40%)	404.68	%

SR.No	Floor	Area	Area Free from F.A.R. (sqm)	Net Floor Area (sqm)	F.A.R.
1	Lower Ground Floor	332.78	—	332.78	0.00
2	Upper Ground Floor	409.10	35.94	373.16	0.00
3	First Floor	409.10	35.94	373.16	0.00
4	Second Floor	409.10	35.94	373.16	0.00
5	Third Floor	409.10	35.94	373.16	0.00
6	Total	1369.18	138.80	1230.38	1000.00

SR.No	DESCRIPTION	AREA	UNITS
1	LOWER GROUND FLOOR	332.78	sq.mt
2	UPPER GROUND FLOOR	296.84	sq.mt
3	FIRST FLOOR	296.84	sq.mt
4	SECOND FLOOR	199.85	sq.mt
5	THIRD FLOOR	1090.40	sq.mt
6	TOTAL FLOOR AREA	98.12	%
7	F.A.R. CONSUMED	1000.00	sq.mt
8	F.A.R. PERMISSIBLE (100%)	128.15	sq.mt
9	TOTAL LENGTH OF COMPOUND WALL	1710.21	Rm
10	AREA FOR INFRASTRUCTURE TAX	22	Nos.
11	PARKING REQUIRED	22	Nos.
12	PARKING PROVIDED	22	Nos.

NOTE -
 1. ALL DRAWINGS ARE AT 1:100 SCALE UNLESS MENTIONED OTHERWISE
 2. ALL DIMENSIONS ARE IN METERS

SIGNATURE OF OWNER

For SASH INFRASTRUCTURE LTD. Sabharwal Properties Industries Pvt. Ltd.

SIGNATURE OF ARCHITECT

Ashwinikumar Prabhu

Architect

TOP Reg. No. AR/02/2019

C-2, Tivoli Apartments,

NEAR MUNICIPAL MARKET,

Panaji - Goa.

PROJECT ARCHITECT

ASHWINIKUMAR PRABHU

studio Arche'type

architecture + interiors

Office No. 2, 1st Floor Acon Chambers, D.B. Road, Panjim-Goa. 403001

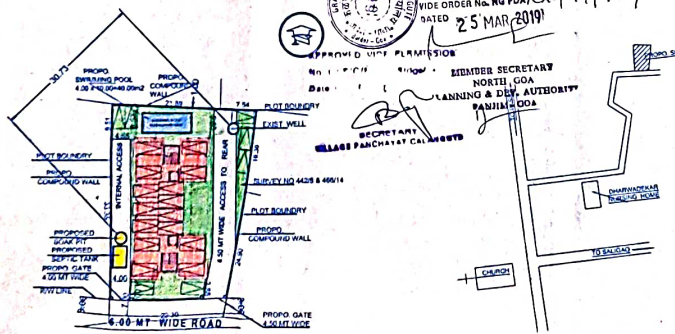
Ph. 0091-832-2421800 e-mail: studioarchetype@gmail.com

SWIMMING POOL AREA FOR INFRASTRUCTURE TAX = 40.00M²
 BUILDING AREA FOR INFRASTRUCTURE TAX = 1679.21M²
 TOTAL AREA FOR INFRASTRUCTURE TAX = 1719.21 M²

APPROVED FROM PLANNING POB
 SUBJECT TO CONDITIONS GIVEN
 WIDE ORDER No. NG PDJ/CAL
 DATED 25 MAR 2019

MEMBER SECRETARY
 NORTH, GOA
 PLANNING & DEV. AUTHORITY
 PANJIM, GOA

SECRETARY
 VILLAGE PANCHAYAT CALANGUTE

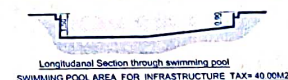


SITE PLAN

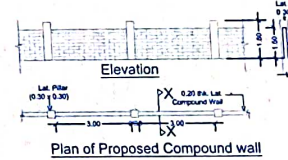
SCALE 1:100

LOCATION PLAN

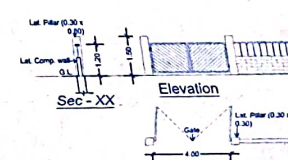
NOT TO SCALE



Longitudinal Section through swimming pool
 SWIMMING POOL AREA FOR INFRASTRUCTURE TAX= 40.00M²

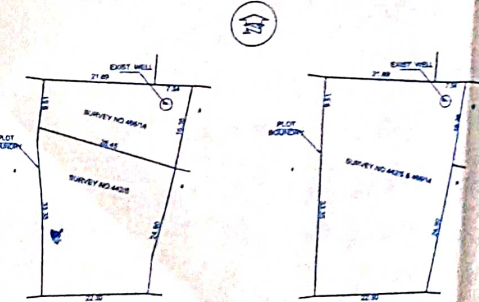


Elevation
 Plan of Proposed Compound wall



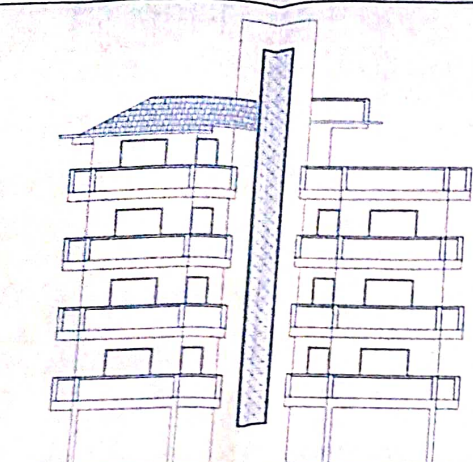
Sec-XX
 Elevation
 Plan of Proposed Compound wall

Total Length of Proposed Compound wall = 128.15 Rm

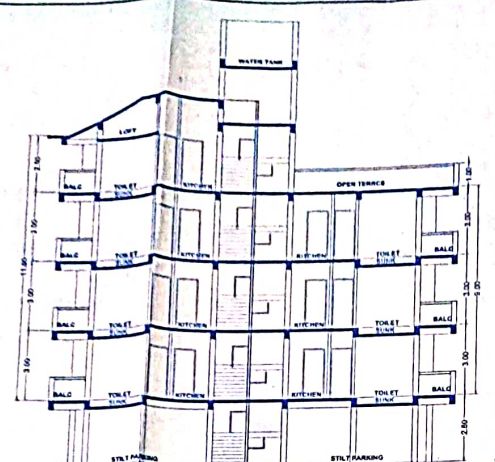


STATEMENT OF AREA
 AREA OF SURVEY NO. 446/14 = 375.00M²
 AREA OF SURVEY NO. 442/5 = 725.00 M²
 SITE PLAN BEFORE AMALGAMATION

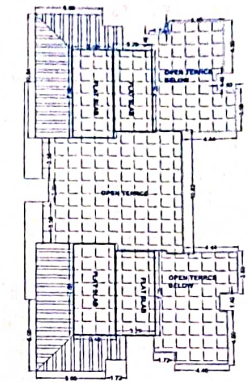
STATEMENT OF AREA
 AREA OF SURVEY NO. 446/14 = 375.00M²
 AREA OF SURVEY NO. 442/5 = 725.00 M²
 TOTAL AREA AFTER AMALGAMATION = 1100.00M²
 SITE PLAN AFTER AMALGAMATION
 SCALE 1:100



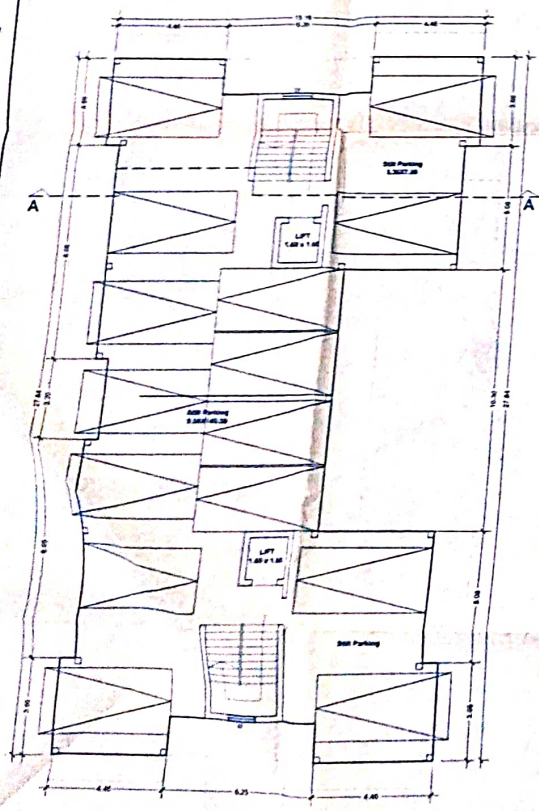
FRONT ELEVATION
SCALE: 1:100



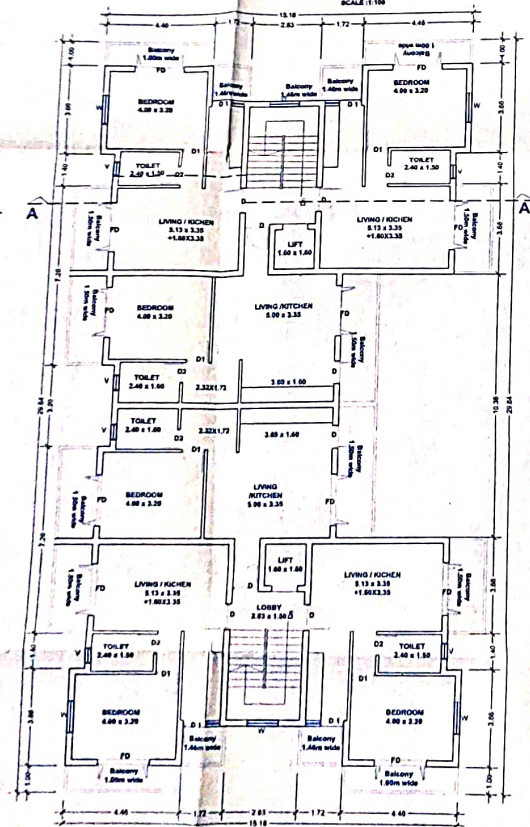
SECTION A-A
SCALE: 1:100



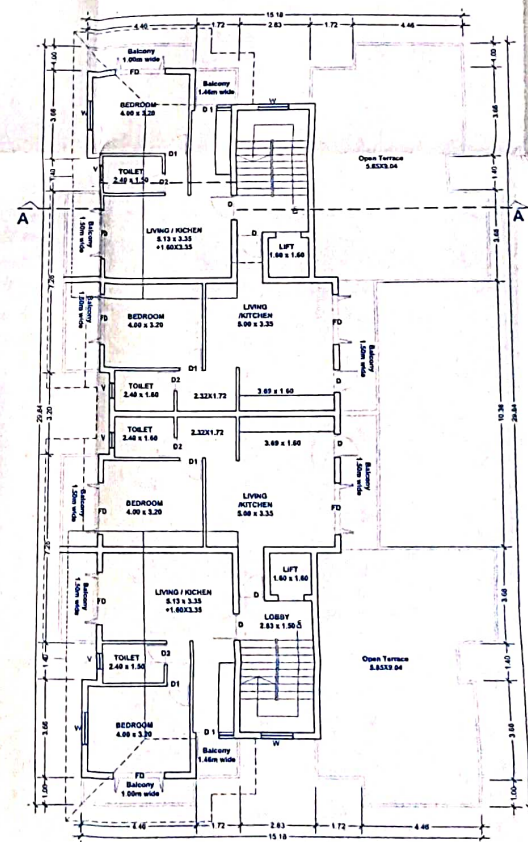
ROOF PLAN
SCALE: 1:100



LOWER GROUND PLAN (STILT)
SCALE: 1:100



TYPICAL UPPER GROUND, FIRST & SECOND FLOOR PLAN
SCALE: 1:100



THIRD FLOOR PLAN
SCALE: 1:100

APPROVED FROM PLANNING AUTHORITY
SUBJECT TO CONFORM TO THE
SIDE ORDER NO. 193/2014/1413/380/17
DATED 25 MAR 2019
MEMBER SECRETARY
NORTH GOA
PLANNING & URB. AUTHORITY
PANJIM - GOA



APPROVED BY
No. 1/2019
Date: 25/03/2019
MEMBER SECRETARY
NORTH GOA
PLANNING & URB. AUTHORITY
PANJIM - GOA

NOTE:
1. ALL DRAWING ARE AT 1:100 SCALE UNLESS MENTIONED OTHERWISE
2. ALL DIMENSIONS ARE IN METERS

SCHEDULE OF OPENINGS

NOMEN	SIZE	NOMEN	SIZE
FD	1.50 X 2.15	D2	0.80 X 2.15
D	1.00 X 2.15	W	1.50 X 1.15
D1	0.80 X 2.15	V	0.60 X 0.80

SIGNATURE OF OWNER

SABH INFRASTRUCTURE LTD.
Director
SABHARWAL INDUSTRIES PVT. LTD.
Director

SIGNATURE OF ARCHITECT

Ashwin Kumar Prabhu

Ashwin Kumar Prabhu
Architect
TCP Reg. No. AR/02/2019
C-6, Trunk Road, Bardez,
NEAR MUNICIPAL MARKET,
Panaji - Goa

PROJ. NO.	DRG. NO.	REV. NO.
SA-AR-424/18	SD-01	SD-02
DATE	DRAWN BY	CKD BY
27-11-2018	Krishna	ashwin.P

TITLE:

PROPOSED CONSTRUCTION OF
RESIDENTIAL BUILDING ON PLOT BEARING
SURVEY NO 466 / 14 & 442/5, SITUATED AT
CALANGUTE VILLAGE, OF BARDEZ - GOA.
FOR: M/s SABH INFRASTRUCTURE LTD. &
M/s. SABHARWAL PROPERTIES INDUSTRIES
PVT. LTD.

PROJECT ARCHITECT

ASHWINIKUMAR PRABHU



studio Arche'type
architecture + interiors

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Ph. 0091-832-2421800 e-mail: studioarchetype@gmail.com