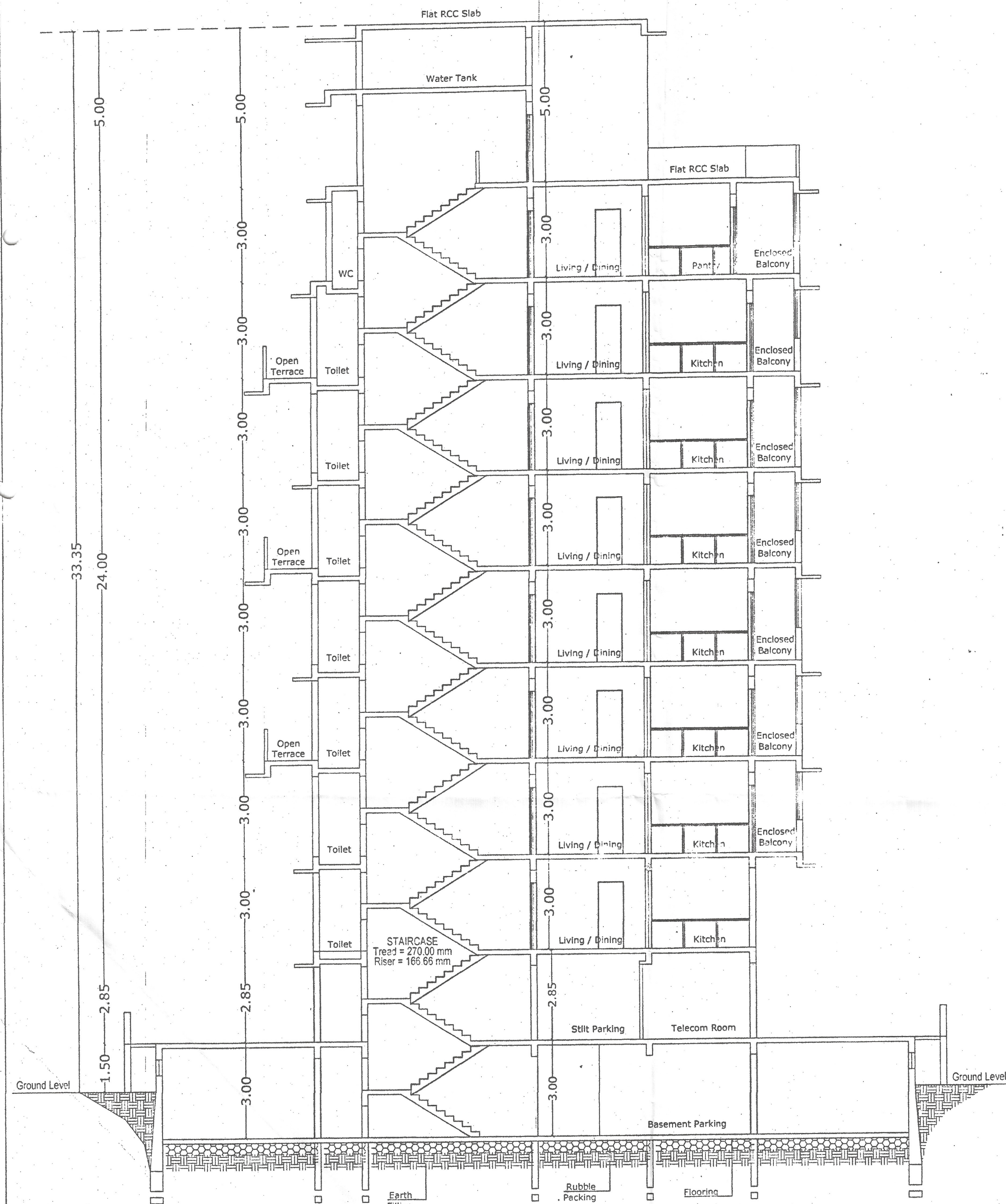
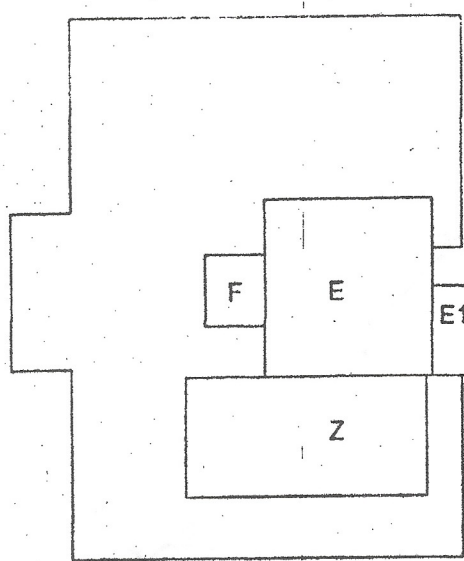


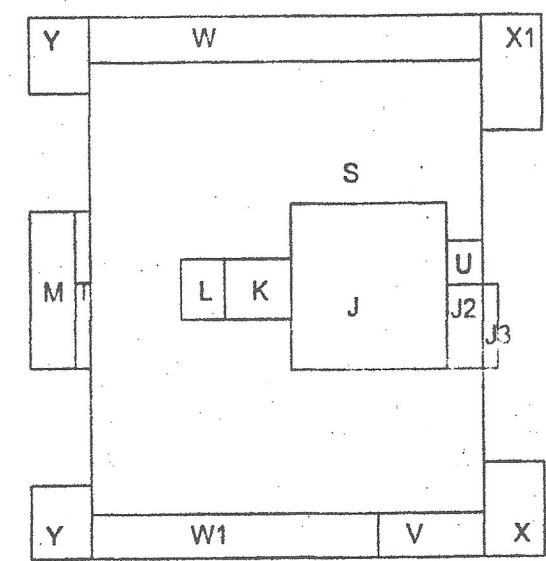


SECTION AA (SCALE: 1:100)

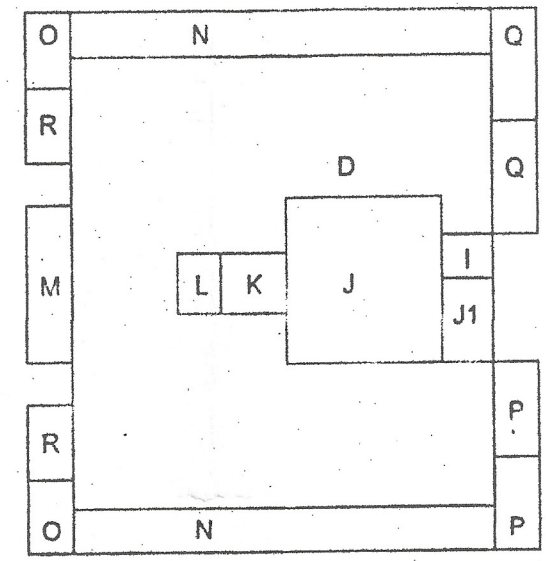
AREA CALCULATION DIAGRAMS



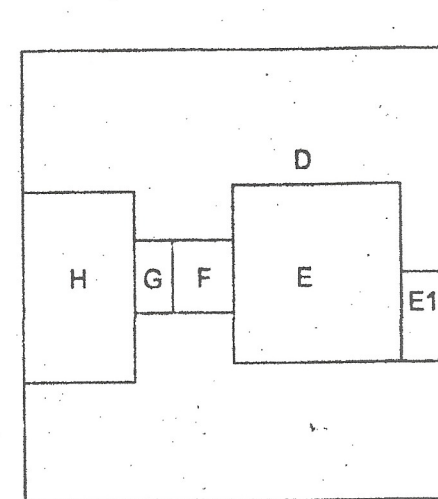
Roof Floor Area



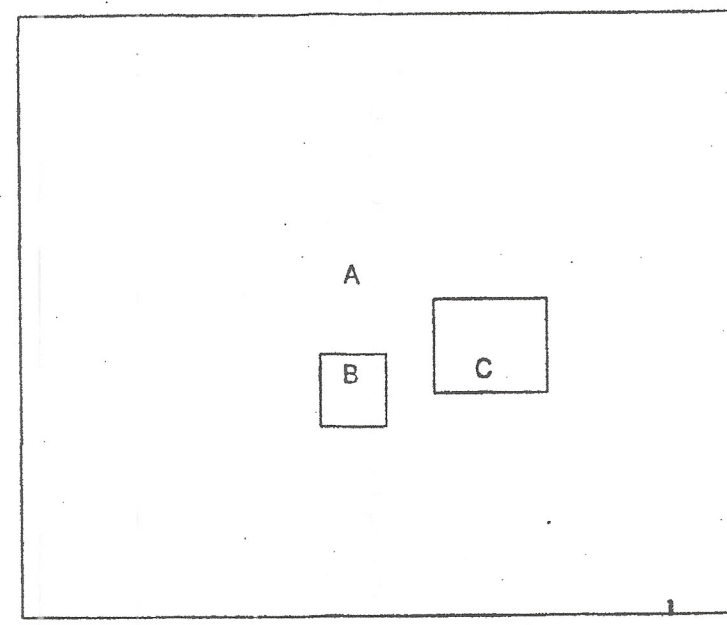
Eighth Floor Area



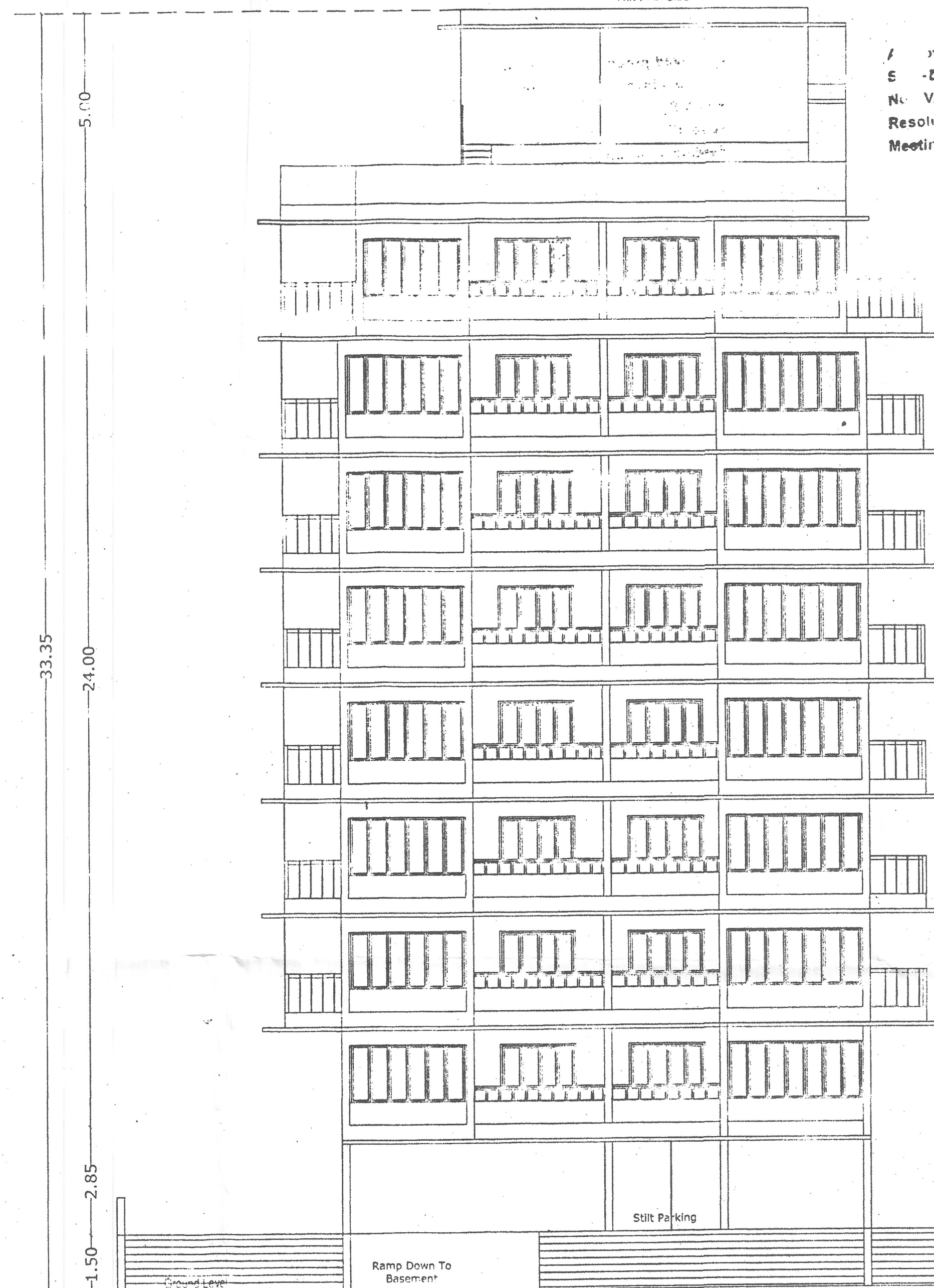
Typical First, Second, Third Fourth, Fifth, Sixth, Seventh Floor Area



Covered Area and Ground Floor Area



Basement Floor Area



FRONT ELEVATION (SCALE: 1:100)

AREA CALCULATION

Covered Area = D
= 210.00 m²
Coverage = 30.35 %

Basement Floor Area
= (A - B - C) Parking + (B + C) Staircase, Lift
= 463.095 (Parking) + 16.905 (Staircase, Lift)

Ground (Still) Floor Area
= (D - E - E1 - F - G - H) Parking + (E + E1 + F) Staircase, Lift + (G + H) Telecom Room
= 141.645 (Parking) + 42.045 (Staircase, Lift) + 26.31 (Telecom Room)

First Floor Area
= (D - I - J - J1 - K - L) Floor Area + (J + J1 + K) Staircase, Lift + (N) Balcony
= 167.15 (Floor Area) + 37.485 (Staircase, Lift) + 21.00 (Balcony)

Typical Second, Fourth and Sixth Floor Area
= (D - I - J - J1 - K - L) Floor Area + (J + J1 + K) Staircase, Lift + (M + 2N) Balcony + (2O + P + Q) Open Terrace
= 167.15 (Floor Area) + 37.485 (Staircase, Lift) + 49.80 (Balcony) + 17.8125 (Open Terrace)

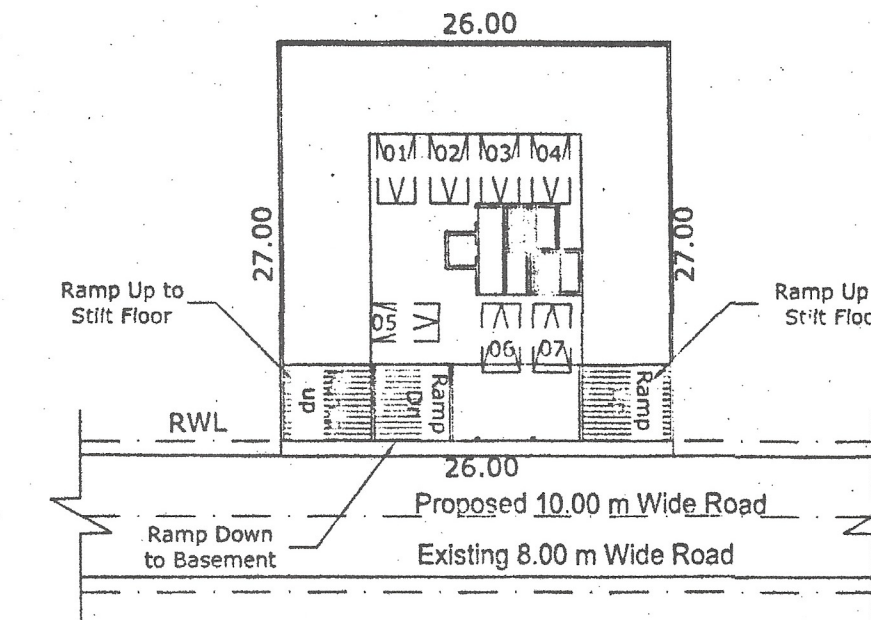
Typical Third, Fifth and Seventh Floor Area
= (D - I - J - J1 - K - L) Floor Area + (J + J1 + K) Staircase, Lift + (M + 2N) Balcony + (P + Q + 2R) Open Terrace
= 167.15 (Floor Area) + 37.485 (Staircase, Lift) + 49.80 (Balcony) + 17.8125 (Open Terrace)

Eighth Floor Area = (S + T - U + V - J - J2 - K - L) Floor Area + (J + J2 + J3 + K) Staircase, Lift + (M + W + W1) Balcony + (X + X1 + 2Y) Open Terrace
= 162.125 (Floor Area) + 37.585 (Staircase, Lift) + 41.55 (Balcony) + 23.75 (Open Terrace)

Roof Floor Area
= (E + E1 + F) Staircase, Lift + (Z) Swimming pool
= 42.045 (Staircase, Lift) + 32.00 (Swimming pool)

Total Floor Area = 1332.175 (Floor Area) + 400.975 (Staircase, Lift) + 361.35 (Balcony) + 32.00 (Swimming Pool) + 130.625 (Open Terrace) + 604.74 (Parking) + 26.31 (Telecom Room)

Floor(%) Reference	Use	Total Built Up Area m ²	Areas free from FAR						Net floor Area m ²	FAR %
			Staircase Lift	Balcony	Telecom Room	Swimming pool	Open Terrace	Parking		
Basement Floor	Parking	480.00	16.905	---	---	---	---	463.095	---	00.00
Ground (Still) Floor	Parking	210.00	42.045	---	26.31	---	---	141.645	---	00.00
First Floor	Residential	225.635	37.485	21.00	---	---	---	---	167.15	24.15
Second Floor	Residential	272.2475	37.485	49.80	---	---	17.8125	---	167.15	24.15
Third Floor	Residential	272.2475	37.485	49.80	---	---	17.8125	---	167.15	24.15
Fourth Floor	Residential	272.2475	37.485	49.80	---	---	17.8125	---	167.15	24.15
Fifth Floor	Residential	272.2475	37.485	49.80	---	---	17.8125	---	167.15	24.15
Sixth Floor	Residential	272.2475	37.485	49.80	---	---	17.8125	---	167.15	24.15
Seventh Floor	Residential	272.2475	37.485	49.80	---	---	17.8125	---	167.15	24.15
Eighth Floor	Residential	265.01	37.585	41.55	---	---	23.75	---	162.125	23.43
Roof Floor	Residential	74.045	42.045	---	---	32.00	---	---	---	00.00
		2335.175	400.975	361.35	26.31	32.00	130.625	604.74	1332.175	192.51



PARKING PLAN
(Scale 1:500)

AREA CALCULATIONS:

A = 24.00 x 20.00 = 480.00 m²
B = 2.20 x 2.40 = 5.28 m²
C = 3.75 x 3.10 = 11.625 m²
D = 14.00 x 15.00 = 210.00 m²
E = 5.55 x 5.90 = 32.745 m²
E1 = 1.50 x 3.00 = 4.50 m²
F = 2.00 x 2.40 = 4.80 m²
G = 1.25 x 2.40 = 3.00 m²
H = 3.70 x 6.30 = 23.31 m²

I = 1.70 x 1.45 = 2.465 m²
J = 5.15 x 5.50 = 28.325 m²
J1 = 1.70 x 2.80 = 4.76 m²
J2 = 1.20 x 2.80 = 3.36 m²
J3 = 0.50 x 3.00 = 1.50 m²
K = 2.20 x 2.00 = 4.40 m²
L = 1.45 x 2.00 = 2.90 m²

M = 1.50 x 5.20 = 7.80 m²
N = 14.00 x 1.50 = 21.00 m²

O = 1.50 x 2.50 = 3.75 m²
P = 1.50 x 3.15 = 4.725 m²
Q = 1.50 x 3.725 = 5.5875 m²
R = 1.50 x 2.50 = 3.75 m²

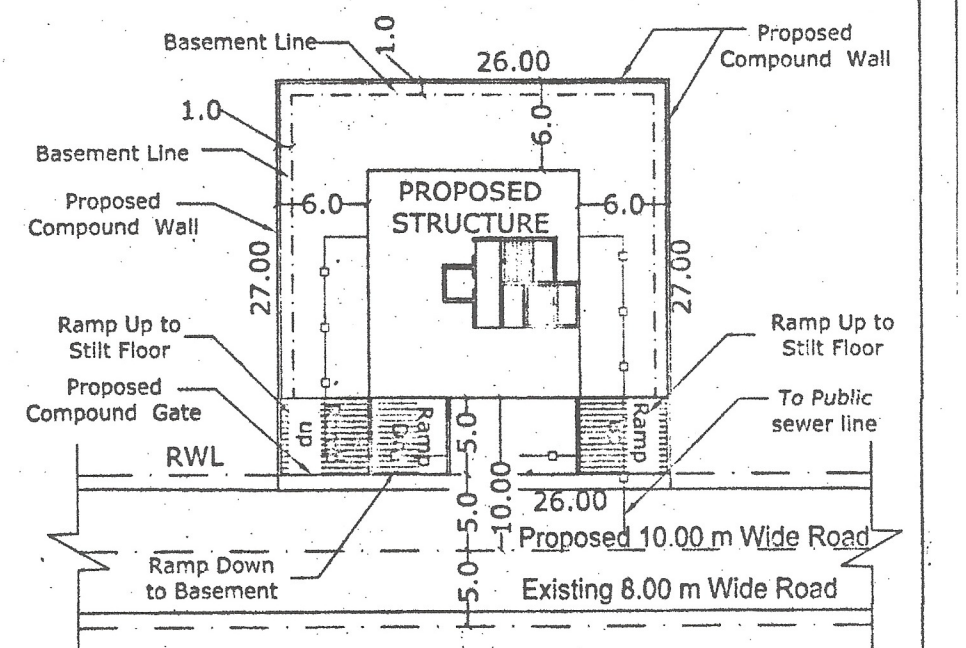
S = 13.00 x 15.00 = 195.00 m²

T = 0.50 x 5.20 = 2.60 m²
U = 1.20 x 1.45 = 1.74 m²
V = 3.50 x 1.50 = 5.25 m²

W = 13.00 x 1.50 = 19.50 m²
W1 = 9.50 x 1.50 = 14.25 m²

X = 2.00 x 3.15 = 6.30 m²
X1 = 2.00 x 3.725 = 7.45 m²

Y = 2.00 x 2.50 = 5.00 m²
Z = 8.00 x 4.00 = 32.00 m²



SITE PLAN
(Scale 1:500)

NOTES: 1) all the dimensions are to be read in meters unless specified
2) all external walls are 200mm thick & internal walls are 100mm thick.

SCHEDULE OF OPENINGS

DOORS	WINDOW
1) DW = 2.00 x 2.20	1) W = 1.50 x 1.50
2) D = 1.20 x 2.50	2) W1 = 1.20 x 1.20
3) D1 = 0.90 x 2.20	3) W2 = 0.90 x 1.20
4) D2 = 0.80 x 2.20	4) W3 = 1.15 x 1.20
	5) V = 0.60 x 0.70

AREA STATEMENT

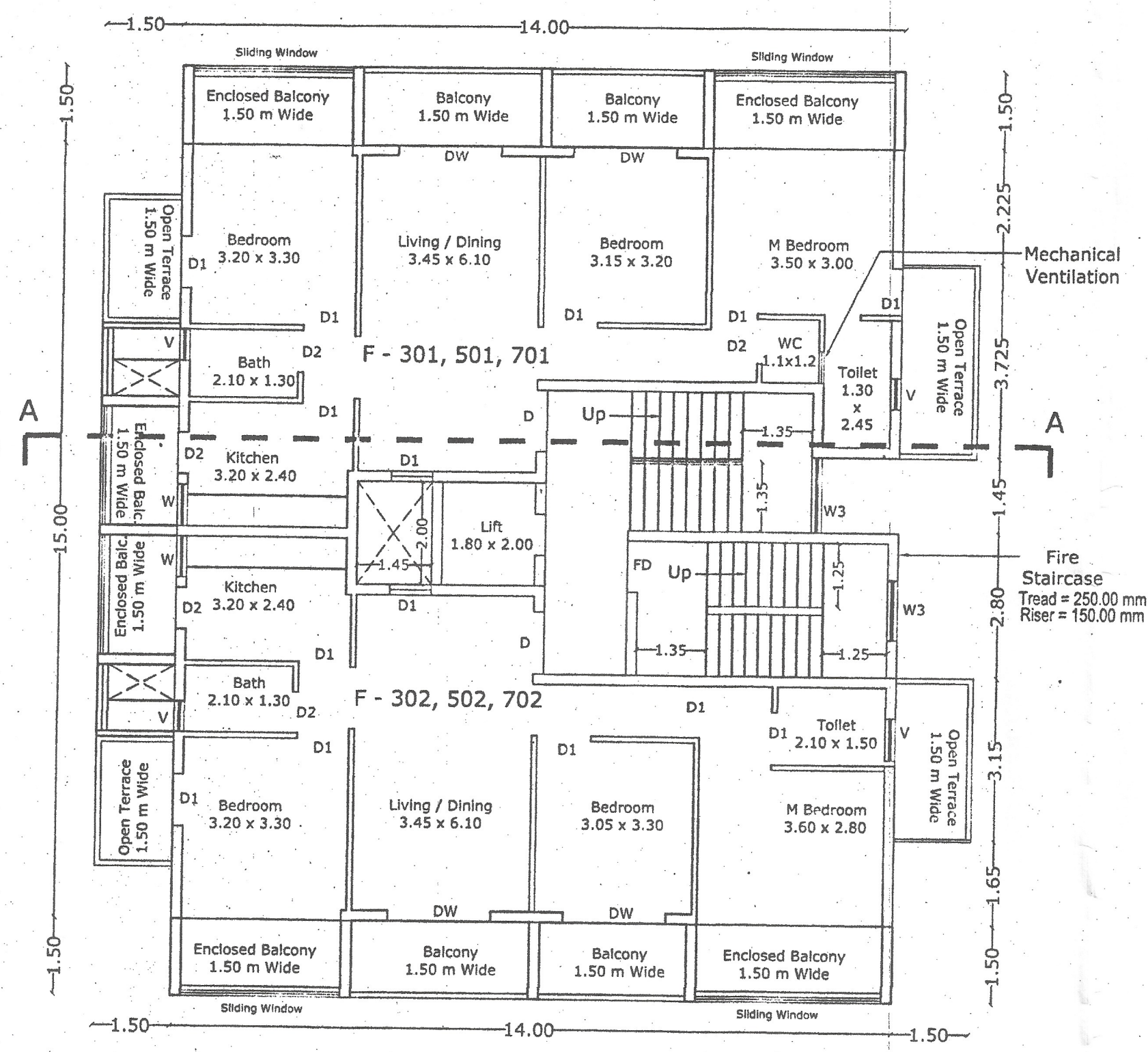
1) Area of the plot	= 692.00	m ²
2) Deduction for Road Widening	= 26.00	m ²
3) Effective plot area	= 666.00	m ²
4) Covered Area allowed (40%)	= 266.40	m ²
5) Existing Covered area	= 00.00	m ²
6) Existing Covered area to be demolished	= 00.00	m ²
7) Proposed Covered area	= 210.00	m ²
8) Total covered Area	= 210.00	m ²
9) Total Coverage	= 30.35	%
10) Existing floor area	= 00.00	m ²
11) Existing floor area to be demolished	= 00.00	m ²
12) Proposed Floor area	= 1332.175	m ²
13) Total Floor area	= 1332.175	m ²
14) Total FAR	= 192.51	%
15) Parking Req.	= 18.00	Nos
16) Parking Provided (EV)	= 18.00	Nos
17) Length of compound wall	= 104.00	m.

PROJECT:-

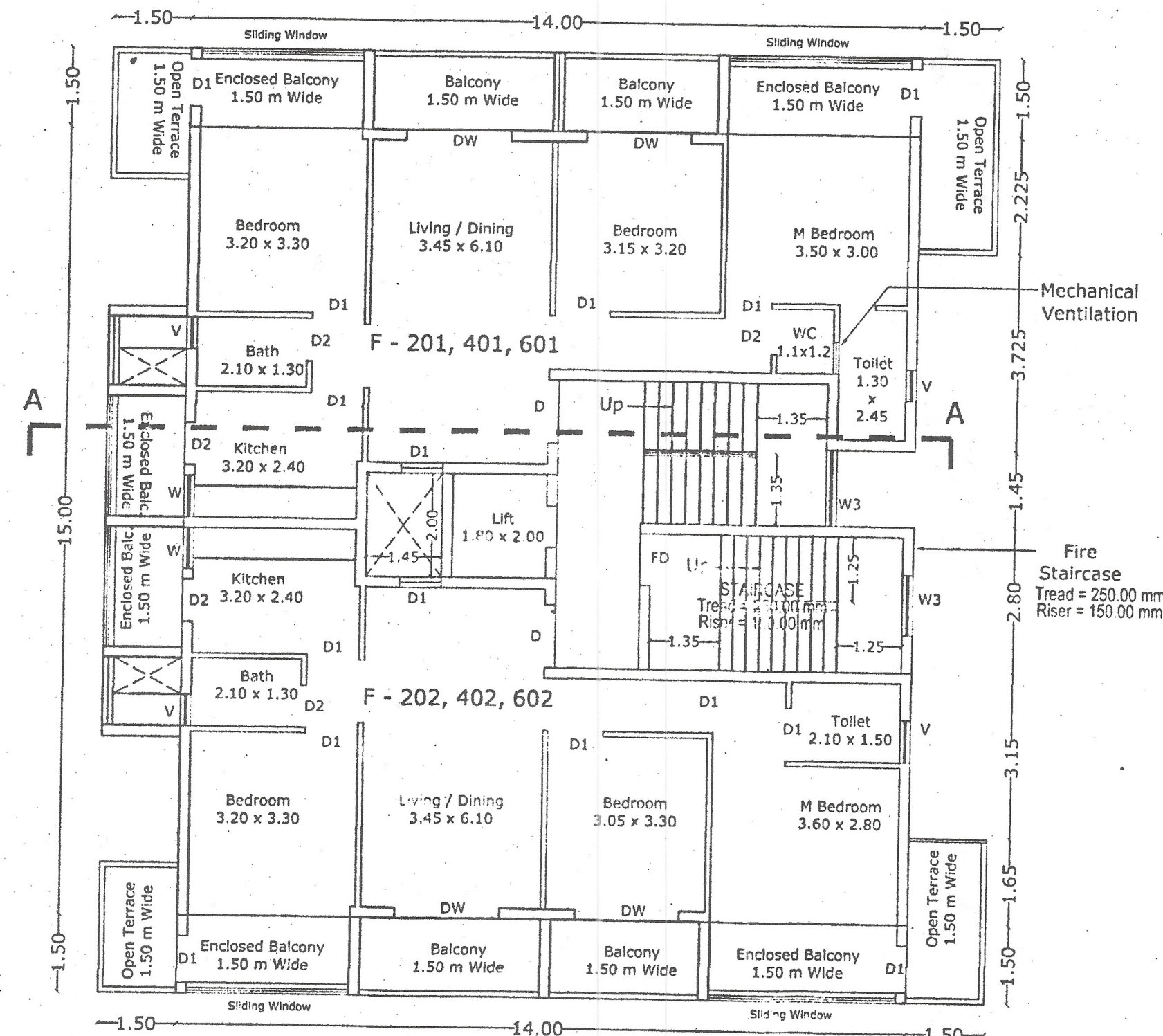
PROPOSED RESIDENTIAL BUILDING AND COMPOUND WALL AND GATE IN PLOT BEARING PLOT NO. 9, SURVEY NO. 8 / 1 - E, SITUATED AT CHICALIM VILLAGE - MORMUGAO GOA.

Scale: 1:100, 1:500
Sheet No - 1/2
DWG. NO -

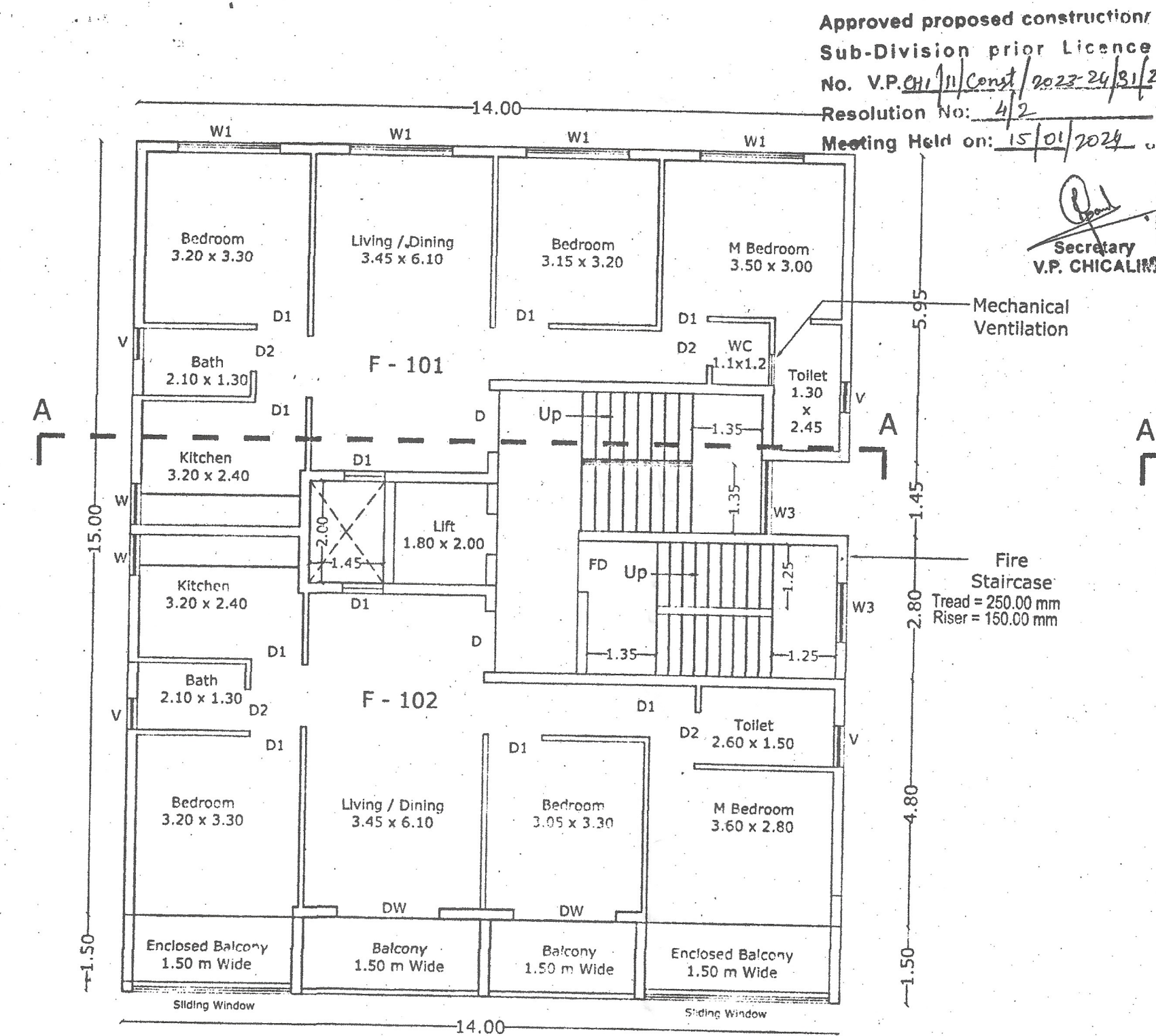
ARCHITECT
OWNER
Mr. VIRAJ DESSAI
VIRAJ DESSAI
AR/2025/2011
VASCO - GOA
Contact: 9923363993



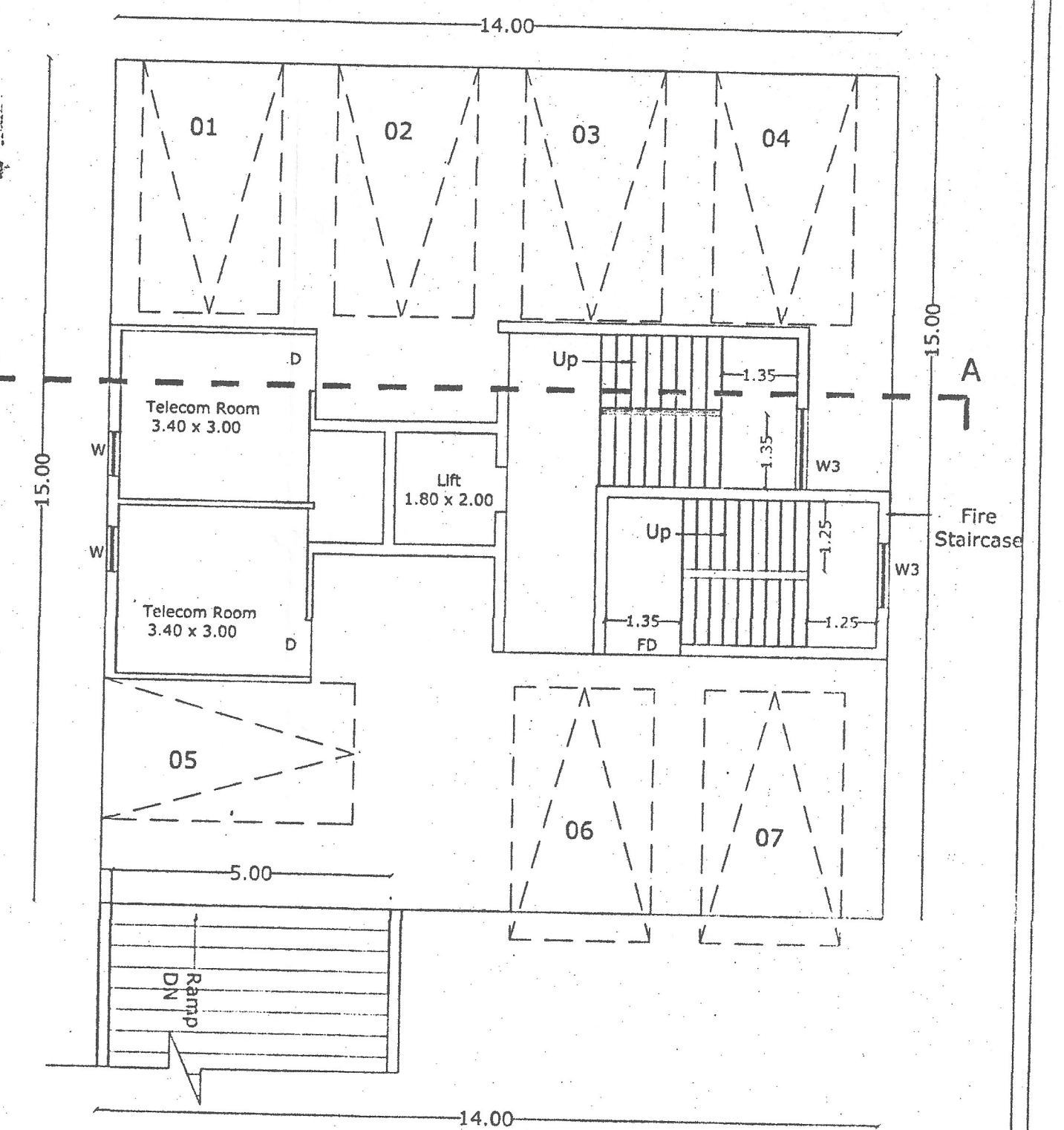
TYPICAL THIRD, FIFTH AND SEVENTH FLOOR PLAN (SCALE:1:100)



TYPICAL SECOND, FOURTH AND SIXTH FLOOR PLAN (SCALE:1:100)

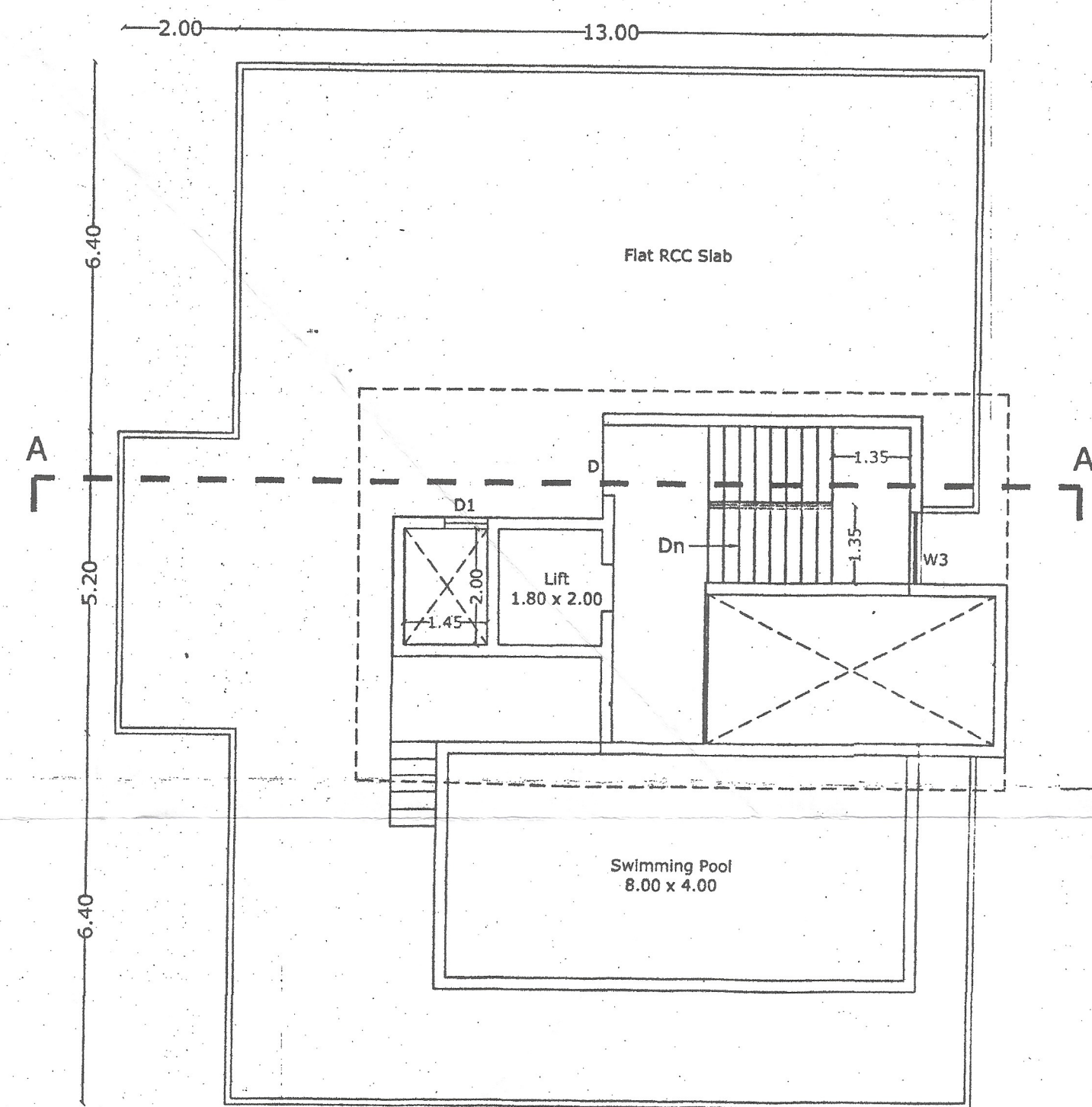


FIRST FLOOR PLAN (SCALE:1:100)

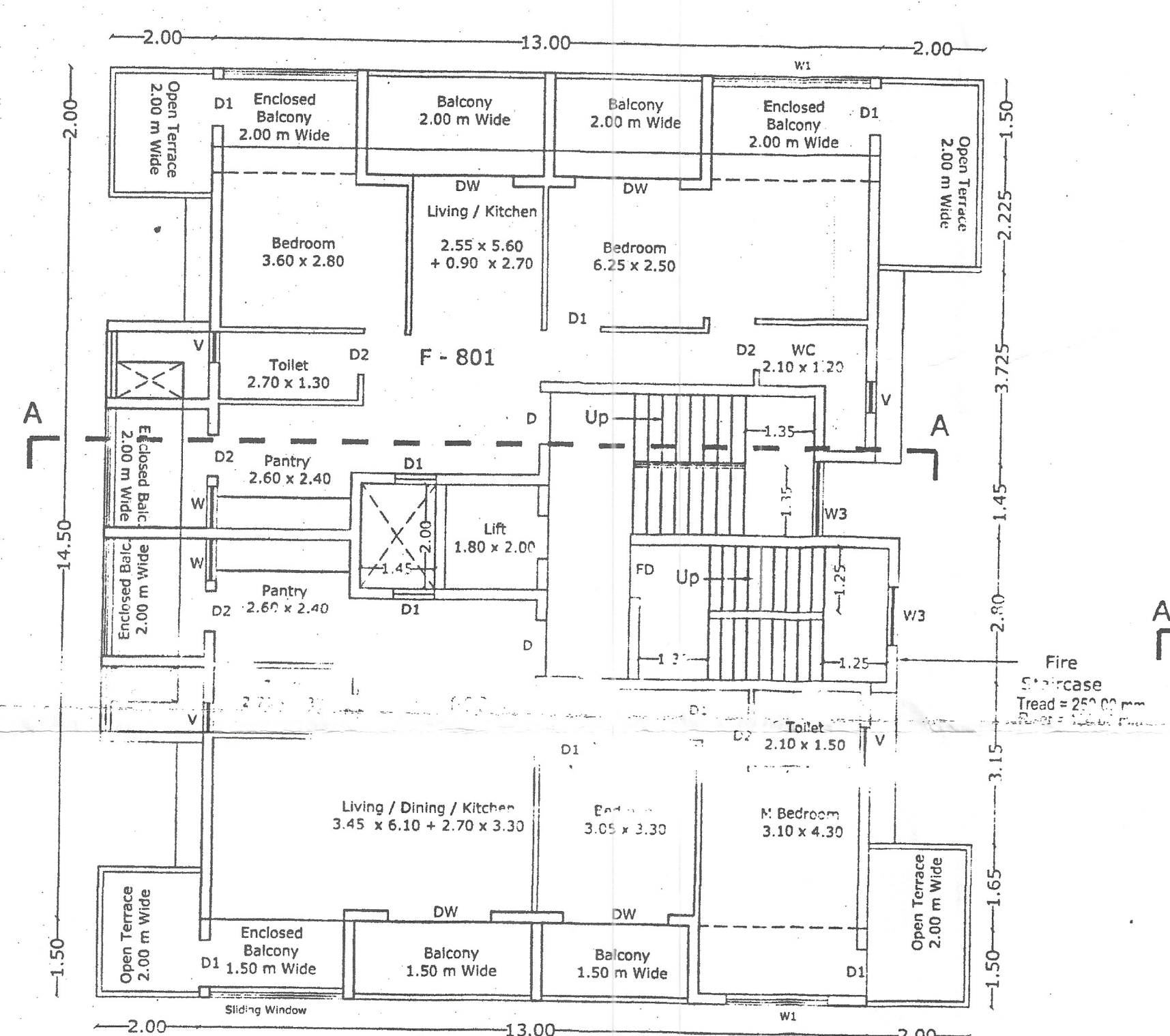


GROUND FLOOR PLAN (SCALE:1:100)

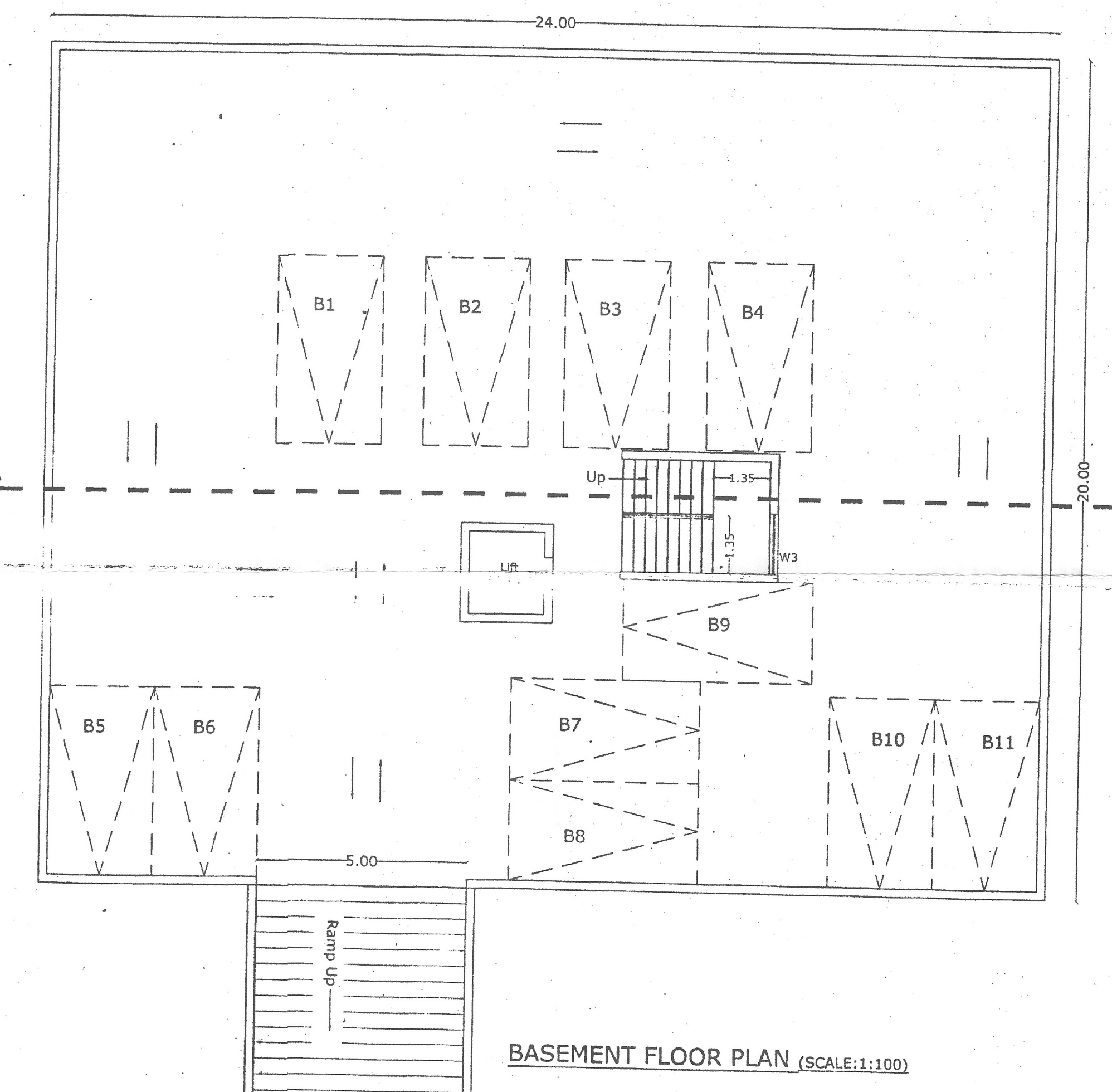
FLAT NOS. 202, 302, 402, 502, 602, 702 ARE FOR PERSONS WITH DISABILITY AND ELDERLY PERSONS



ROOF PLAN (SCALE:1:100)

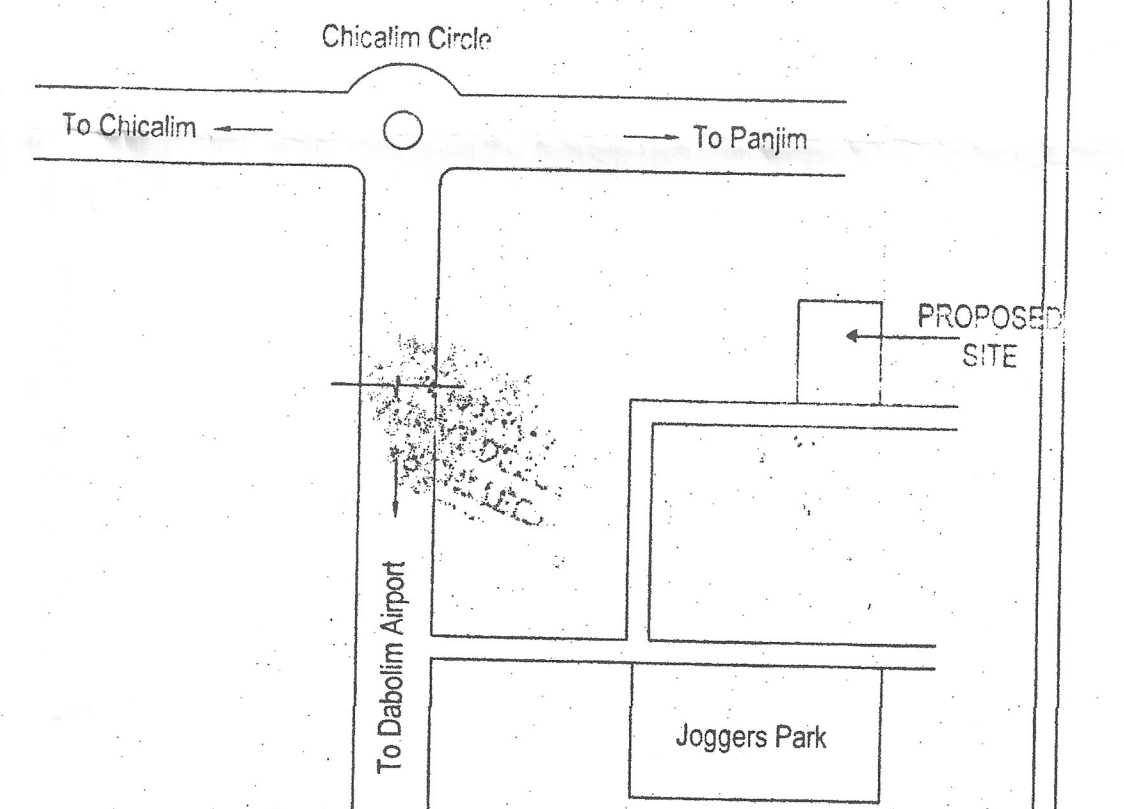


EIGHT FLOOR PLAN (SCALE:1:100)



BASEMENT FLOOR PLAN (SCALE:1:100)

APPROVED FOR DEVELOPMENT PERMISSION
Regd. Order No. MPDA/5-H-10/2023-24/1103
Date: 23.01.2024
MEMBER SECRETARY



LOCATION PLAN (Not To Scale)

NOTES:	
FLAT NOS. 202, 302, 402, 502, 602, 702 ARE FOR PHYSICALLY HANDICAPPED PERSON	
NOTES:	
1) all the dimensions are to be read in meters unless specified	
2) all external walls are 200mm thick & internal walls are 100mm thick	
SCHEDULE OF OPENINGS	
DOORS	WINDOW
1) DW = 2.00 x 2.20	1) W1 = 1.50 x 1.50
2) D1 = 1.20 x 2.50	2) W2 = 1.20 x 1.20
3) D2 = 1.00 x 2.20	3) W3 = 0.90 x 1.20
4) D3 = 0.80 x 2.20	4) W4 = 1.15 x 1.20
	5) V = 0.60 x 0.70
PROJECT:-	
PROPOSED RESIDENTIAL BUILDING AND COMPOUND WALL AND GATE IN PLOT BEARING PLOT NO. 9, SURVEY NO. 8 / 1 - E, SITUATED AT CHICALIM VILLAGE - MORMUGAO GOA.	
Scale: 1:100, 1:500	
Sheet No - 2/2	DWG BY : ABHIJIT SHET
DWG. NO -	DATE - 29-11-2022
ARCHITECT	OWNER
ARCHITECT: VIKAS DESSAI	OWNER: Abhi
VASCO - GOA	
Contact: 9823363899	