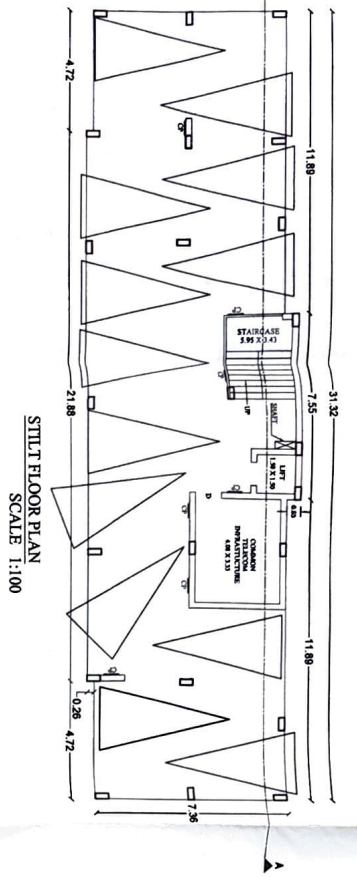
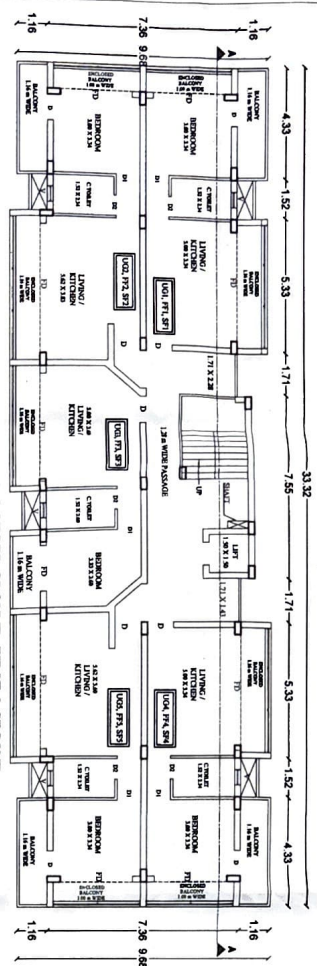
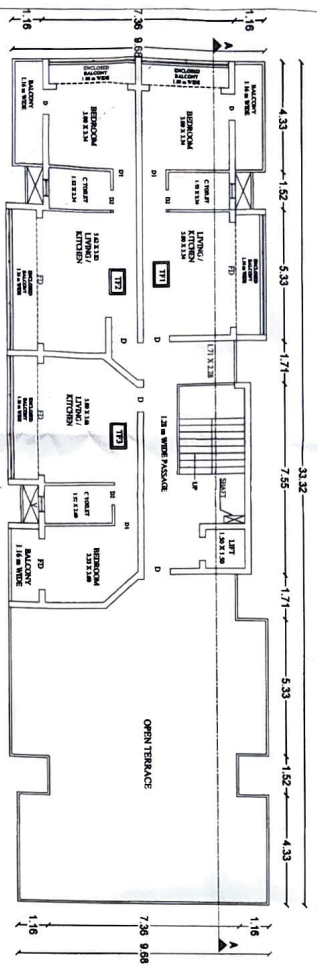




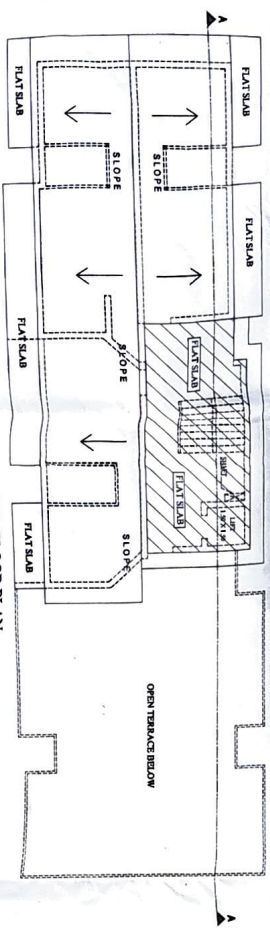
STILT FLOOR PLAN
SCALE 1:100



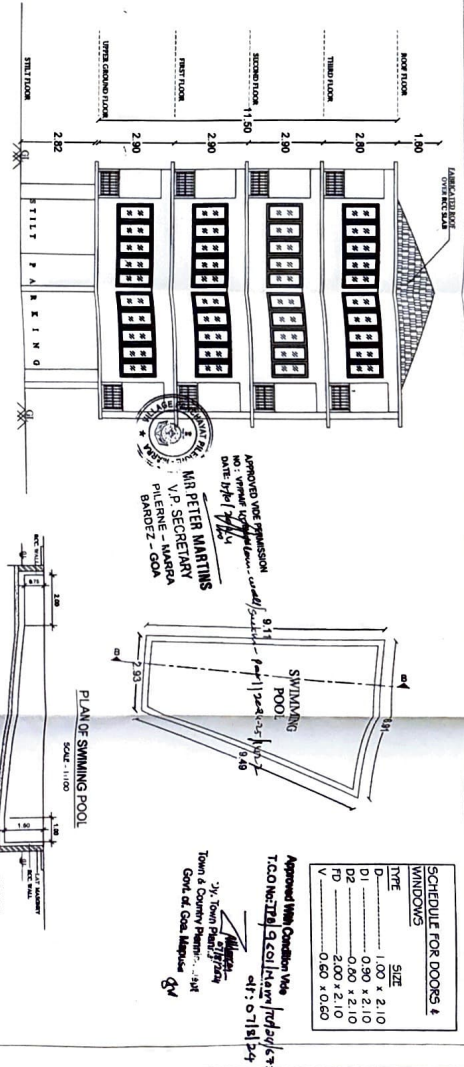
TYPICAL UPPER GROUND, FIRST & SECOND
FLOOR PLAN
SCALE 1:100



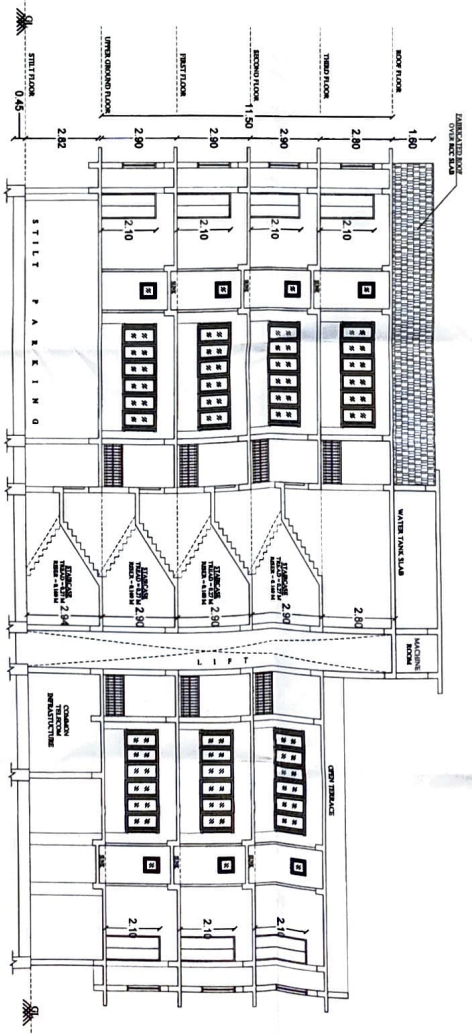
THIRD FLOOR PLAN
SCALE 1:100



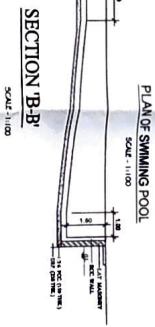
ROOF FLOOR PLAN
SCALE 1:100



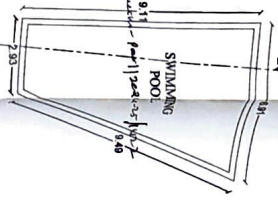
FRONT ELEVATION
SCALE 1:100



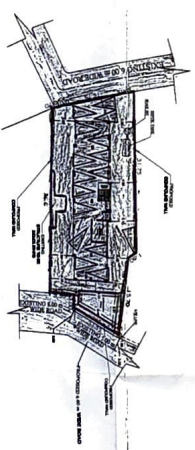
SECTION A-A
SCALE 1:100



SECTION B-B
SCALE 1:100



PLAN OF SWIMMING POOL
SCALE 1:100



SITE PLAN
SCALE 1:500



PROJECT: CONSTRUCTION OF RESIDENTIAL BUILDING,
PROPOSED SWIMMING POOL & COMPOUND WALL IN LAND BEARING SURVEY
NO. 35/5-A AT MARA VILLAGE, BARDEZ - GOA FOR
M/S. RAJAS ESTATE DEVELOPERS

Submission Drawing.

SIGN OF OWNER

SIGN OF ENGINEER

BATHIN SOS. RAJAS
RE (CNU)
Qualifying Engineer
TOP Reg No: BE252010

APPROVED FOR CONSTRUCTION
DATE: 11/01/2024
MR. PETER MARTINS
V.P. SECRETARY
BARDEZ - GOA

SCHEDULE FOR DOORS &
WINDOWS
TYPE SIZE
D-1 1.00 x 2.10
D-2 0.90 x 2.10
D-3 0.80 x 2.10
D-4 0.60 x 0.60

Approved With Condition
T.O. NO. 12/19/2024
DATE: 11/01/2024
BY: [Signature]
TOWN & COUNTRY PLANNING
GOVT. OF GOA

dt: 07/08/24

07/18/2024
Town Planner



SCALE - 1:100



SCALE 1:100

BUILT-UP AREAS

- | | | |
|----------------------|-------------------------------------|-----------------------|
| 1 | 412 x 7.36 = 34.74 m ² | PARKING |
| 2 | 711.7 x 2.62 = 54.63 m ² | PARKING |
| 3 | 755 x 7.81 = 21.21 m ² | STAIRCASE |
| 4 | 755 x 5.34 = 40.33 m ² | PARKING |
| 5 | 431 x 3.79 = 16.33 m ² | CTT ROOM |
| 6 | 453 x 3.94 = 16.53 m ² | PARKING |
| 7 | 2.86 x 1.62 = 0.46 m ² | PARKING |
| 8 | 412 x 7.36 = 34.74 m ² | PARKING |
| TOTAL BUILDUP AREA = | | 250.86 m ² |

1	4.72 x 7.36 = 34.74 m ²	PARKING
2	7.17 x 7.62 = 54.63 m ²	PARKING
2	7.55 x 8.81 = 21.21 m ²	STAIRCASE
7	7.55 x 5.34 = 40.32 m ²	PARKING
4	4.31 x 3.79 = 16.33 m ²	CTT ROOM
4	4.31 x 3.84 = 16.55 m ²	PARKING
2	2.86 x 1.62 = 21.79 m ²	PARKING
3	4.72 x 7.36 = 34.74 m ²	PARKING
TOTAL BUILT UP AREA		250.86 m ²

TOTAL AREA FOR FAR--00.00M2

SHEET: 02



PROJECT:

BARDEZ - GOA

PROPOSED CONSTRUCTION OF RESIDENTIAL BUILDING,
SWIMMING POOL & COMPOUND WALL IN LAND BEARING SURVEY
NO. 35/5-A AT MARRA VILLAGE, BARDEZ- GOA FOR
M/S. RAJAS ESTATE DEVELOPERS

Submission Drawing.

SIGN OF OWNER

SIGN OF ENGINEER

DATAPRASAD S. KHALAP
BE (CIVIL)
Consulting Engineer
TCP Reg No: SE/25/2010

AREA STATEMENT

1. TOTAL AREA OF THE PLOT	850.00 M ²
2. DEDUCTION FOR	5.78 M ²
3. NET EFFECTIVE AREA (1-2-3)	844.22 M ²
4. PERMISSIBLE COVERAGE	40.00 %
5. COVERED AREA OF THE PROPOSED BUILDING(A)	250.86 M ²
6. FLOOR COVERAGE OF THE PROPOSED BUILDING(B)	29.71 %
7. FLOOR AREA FOR FAR	
8. FLOOR AREA CONSUMED ON UPPER GROUND FLOOR	187.17 M ²
9. FLOOR AREA CONSUMED ON FIRST FLOOR	187.17 M ²
10. FLOOR AREA CONSUMED ON SECOND FLOOR	187.17 M ²
11. FLOOR AREA CONSUMED ON THIRD FLOOR	112.64 M ²
12. TOTAL FLOOR AREA CONSUMED	674.15 M ²
13. FAR CONSUMED	79.31 %
14. 7.5% OF ALLOWABLE FAR FOR UTILITY & INFRASTRUCTURAL FACILITIES	7.5% x (80% x 850.00) = 51.00 M ²
15. AREA CONSTRUCTED OF 14	43.33 M ²
16. AREA OF SWIMMING POOL	44.34 M ²
17. AREA FOR INFRASTRUCTURE TAX INCLUDING SWIMMING POOLS (EXCLUDING STILT AREA FOR PARKING)	1209.43 M ²
18. PARKING REQUIRED	1127.75 M ² = 15.00 nos.
19. PARKING PROVIDED	75.00 nos.

20. DETAIL OF AREAS & USE, FLOORWISE:-

FLOOR REFERENCE	USE	TOTAL BUA M ²	BALCONY M ²	STAIRCASE M ²	7.5% FREE STAIRCASE M ²	VOID CTN ROOM	PARK AREA M ²	NET FLOOR AREA M ²
UPPER GROUND FL. RES.	PARKING	250.86	-	-	-	16.33	213.32	0.00
FIRST FL. RES.	RES.	310.78	88.51	11.36	23.74	-	-	187.17
SECOND FL. RES.	RES.	310.78	88.51	11.36	23.74	-	-	187.17
THIRD FL. RES.	RES.	195.41	49.78	9.25	23.74	-	-	112.64
TOTAL		1378.61	315.31	43.33	116.17	16.33	213.32	674.15

PROJECT: PROPOSED CONSTRUCTION OF RESIDENTIAL BUILDING, SWIMMING POOL & COMPOUND WALL IN LAND BEARING SURVEY NO. 35/5-A AT MARA VILLAGE, BARDEZ - GOA FOR M/S. RAJAS ESTATE DEVELOPERS

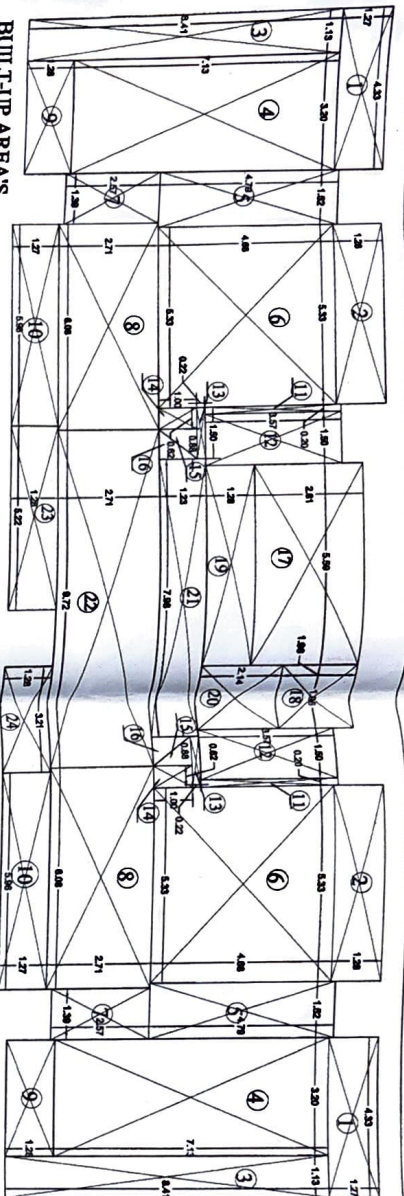
Submission Drawing.

SIGN OF OWNER

SIGN OF ENGINEER

SHOWING PLANS, SECTIONS, ELEVATIONS, SITE PLAN ETC.

CATAPRASAD S. KHULAP
BE (CIVIL)
Consulting Engineer
TCP Reg No: SE252010



TYPICAL UPPER GROUND, FIRST, SECOND FLOOR AREA DIAGRAM
SCALE 1:100

TOTAL UPPER GROUND, FIRST & SECOND FLOOR AREA FOR FAR— 187.17 X 3 = 561.51 M2

BUILT-UP AREAS

- 4.33 x 1.27 = 5.50 m² — BALCONY
- 5.33 x 1.28 = 6.82 m² — BALCONY
- 1.13 x 8.41 = 9.50 m² — BALCONY
- 3.20 x 7.13 = 22.82 m² — BUILTUP
- 1.32 x 4.79 = 7.28 m² — BUILTUP
- 5.33 x 4.68 = 24.94 m² — BUILTUP
- 1.39 x 2.57 = 3.57 m² — BUILTUP
- 6.08 x 2.71 = 16.48 m² — BUILTUP
- 3.20 x 1.28 = 4.10 m² — BALCONY
- 5.36 x 1.27 = 7.57 m² — BALCONY
- 0.20 x 3.57 = 0.71 m² — LOBBY
- 1.50 x 3.57 = 5.35 m² — BALCONY
- 1.50 x 0.22 = 0.33 m² — LOBBY
- 0.62 x 1.00 = 0.62 m² — LOBBY
- 1/2 x 0.88 x 1.00 = 0.44 m² — LOBBY
- 1/2 x 0.88 x 1.00 = 0.44 m² — LOBBY
- 5.39 x 2.81 = 15.71 m² — STAIRCASE
- 1.96 x 1.96 = 3.84 m² — LIFT
- 5.39 x 1.28 = 7.15 m² — LOBBY
- 1.96 x 2.14 = 4.19 m² — LIFT
- 7.76 x 1.49 = 11.56 m² — BUILTUP
- 9.95 x 2.45 = 24.38 m² — BUILTUP
- 5.22 x 1.28 = 6.68 m² — BALCONY
- 3.33 x 1.28 = 4.26 m² — BALCONY
- 1/2 x 1.32 x 1.49 = 0.98 m² — BUILTUP
- 0.88 x 0.26 = 0.23 m² — BUILTUP

TOTAL AREA — 195.41 m²

DEDUCTIONS (FOR 7.5% OF 80% FAR)

- 0.20 x 3.57 = 0.71 m² — LOBBY
- 1.50 x 0.22 = 0.33 m² — LOBBY
- 0.62 x 1.00 = 0.62 m² — LOBBY
- 1/2 x 0.88 x 1.00 = 0.44 m² — LOBBY
- 5.39 x 1.28 = 7.15 m² — LOBBY

TOTAL AREA — 9.25 m²

TOTAL AREA FOR FAR — 112.64 M2

BUILT-UP AREAS

- 4.33 x 1.27 = 5.50 m² — BALCONY
- 5.33 x 1.28 = 6.82 m² — BALCONY
- 1.13 x 8.41 = 9.50 m² — BALCONY
- 3.20 x 7.13 = 22.82 m² — BUILTUP
- 1.32 x 4.79 = 7.28 m² — BUILTUP
- 5.33 x 4.68 = 24.94 m² — BUILTUP
- 1.39 x 2.57 = 3.57 m² — BUILTUP
- 6.08 x 2.71 = 16.48 m² — BUILTUP
- 3.20 x 1.28 = 4.10 m² — BALCONY
- 5.36 x 1.27 = 7.57 m² — BALCONY
- 0.20 x 3.57 = 0.71 m² — LOBBY
- 1.50 x 3.57 = 5.35 m² — BALCONY
- 1.50 x 0.22 = 0.33 m² — LOBBY
- 0.62 x 1.00 = 0.62 m² — LOBBY
- 1/2 x 0.88 x 1.00 = 0.44 m² — LOBBY
- 1/2 x 0.88 x 1.00 = 0.44 m² — LOBBY
- 5.39 x 2.81 = 15.71 m² — STAIRCASE
- 1.96 x 1.96 = 3.84 m² — LIFT
- 5.39 x 1.28 = 7.15 m² — LOBBY
- 1.96 x 2.14 = 4.19 m² — LIFT
- 7.76 x 1.49 = 11.56 m² — BUILTUP
- 9.95 x 2.45 = 24.38 m² — BUILTUP
- 5.22 x 1.28 = 6.68 m² — BALCONY
- 3.33 x 1.28 = 4.26 m² — BALCONY

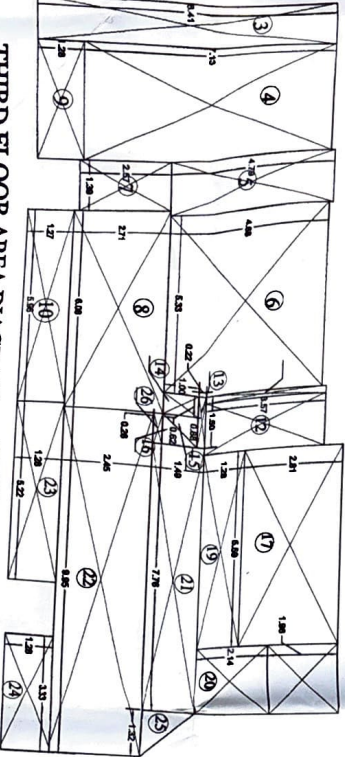
TOTAL BUILT UP AREA — 310.78 m²

DEDUCTIONS (FOR 7.5% OF 80% FAR)

- 0.20 x 3.57 = 0.71 m² — LOBBY
- 1.50 x 0.22 = 0.33 m² — LOBBY
- 0.62 x 1.00 = 0.62 m² — LOBBY
- 1/2 x 0.88 x 1.00 = 0.44 m² — LOBBY
- 5.39 x 1.28 = 7.15 m² — LOBBY

TOTAL AREA — 11.36 m²

TOTAL AREA FOR FAR — 187.17 M2



THIRD FLOOR AREA DIAGRAM
SCALE 1:100

DEDUCTIONS (FOR FAR)

- 4.33 x 1.27 = 5.50 m² — BALCONY
- 5.33 x 1.28 = 6.82 m² — BALCONY
- 1.13 x 8.41 = 9.50 m² — BALCONY
- 3.20 x 7.13 = 22.82 m² — BUILTUP
- 1.32 x 4.79 = 7.28 m² — BUILTUP
- 5.33 x 4.68 = 24.94 m² — BUILTUP
- 1.39 x 2.57 = 3.57 m² — BUILTUP
- 6.08 x 2.71 = 16.48 m² — BUILTUP
- 3.20 x 1.28 = 4.10 m² — BALCONY
- 5.36 x 1.27 = 7.57 m² — BALCONY
- 0.20 x 3.57 = 0.71 m² — LOBBY
- 1.50 x 3.57 = 5.35 m² — BALCONY
- 1.50 x 0.22 = 0.33 m² — LOBBY
- 0.62 x 1.00 = 0.62 m² — LOBBY
- 1/2 x 0.88 x 1.00 = 0.44 m² — LOBBY
- 1/2 x 0.88 x 1.00 = 0.44 m² — LOBBY
- 5.39 x 2.81 = 15.71 m² — STAIRCASE
- 1.96 x 1.96 = 3.84 m² — LIFT
- 5.39 x 1.28 = 7.15 m² — LOBBY
- 1.96 x 2.14 = 4.19 m² — LIFT
- 7.76 x 1.49 = 11.56 m² — BUILTUP
- 9.95 x 2.45 = 24.38 m² — BUILTUP
- 5.22 x 1.28 = 6.68 m² — BALCONY
- 3.33 x 1.28 = 4.26 m² — BALCONY

TOTAL AREA — 73.57 m²