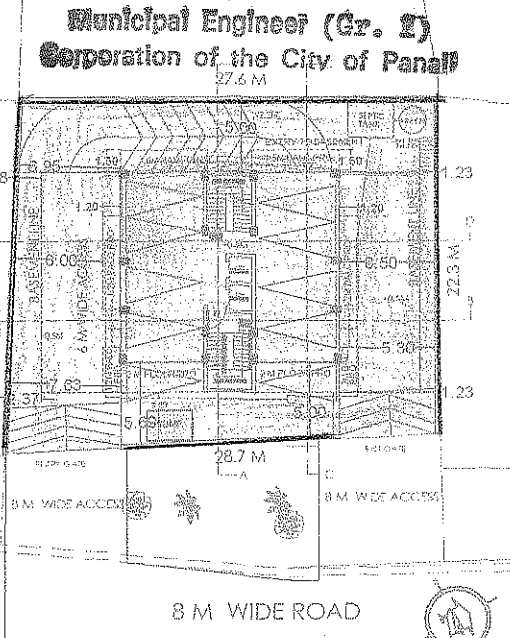


DEMOLITION PLAN SCALE 1:500

LEGEND -

DEMOLITION AREA



SITE PLAN

APPROVED FROM PLANNING POINT
SUBJECT TO CONDITIONS GIVEN
NOC NO: GPPDA/
DATED: 22 AUG 2022

MEMBER SECRETARY
Greater Panaji
Planning & Dev. Authority
Panaji, Goa

N.O.C. is issued subject to the
Condition Stipulated in the letter
No. UHCP/DHS/NOC/2022-2023/1642
Dated: 22/08/22
Health Officer
Pan Health Centre Panaji

PARKING DETAILS FOR THE PROPOSED BUILDING					
FLOOR REFERENCE	FAR (SQM)	UNITS	MINIMUM PARKING REQUIREMENT	TOTAL FAR	TOTAL CAR PARKS REQUIRED
FIRST FLOOR	83.02	2	1.25	166.04	2.5
SECOND FLOOR	83.02	2	1.25	166.04	2.5
THIRD FLOOR	83.02	2	1.25	166.04	2.5
FOURTH FLOOR	83.02	2	1.25	166.04	2.5
FIFTH FLOOR	83.02	2	1.25	166.04	2.5
SIXTH FLOOR	74.46	2	1	148.92	2
EIGHTH FLOOR	130.21	2	1.5	260.42	3
TOTAL REQUIRED					17.5
TOTAL PROVIDED					19

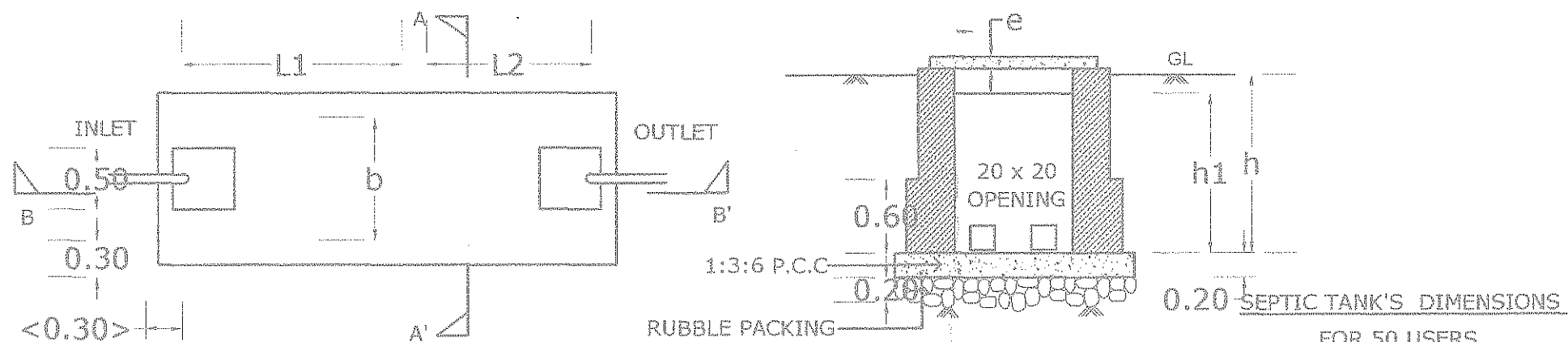
AREA FOR INFRASTRUCTURE TAX CALCULATIONS							
FLOOR REFERENCE	NET FLOOR AREA (SQM)	BALCONY (SQM)	TERRACE	STAIRCASE / LIFT	SWIMMING POOL	LOBBY (SQM)	BUILTUP AREA (SQM)
BASEMENT							
STILT FLOOR							0
FIRST FLOOR	166.04	39.31		38.75		4.88	248.98
SECOND FLOOR	166.04	39.31	5.74	38.75		4.88	254.72
THIRD FLOOR	166.04	39.31	6.71	38.75		4.88	255.69
FOURTH FLOOR	166.04	39.31	5.74	38.75		4.88	254.72
FIFTH FLOOR	166.04	39.31	6.71	38.75		4.88	255.69
SIXTH FLOOR	148.91	39.31	22.87	38.75		4.88	254.72
SEVENTH FLOOR	140.59	39.31	6.71	47.07		4.88	238.56
EIGHTH FLOOR	119.84	15.14	5.74	58.76		4.88	204.36
TERRACE FLOOR	0.00		114.37	79.36	33.35	4.88	231.96
TOTAL							2199.40

AREA STATEMENT			
SRL. NO.	DESCRIPTION	VALUE	UNIT
1	AREA OF PLOT	653	M ²
2	DEDUCTIONS FOR ROAD WADENING		
3	AREA WITHIN ROAD WADENING	NIL	M ²
4	AREA RESERVED FOR ANY OTHER USE	NIL	M ²
5	NET EFFECTIVE AREA OF THE PLOT	NIL	M ²
6	COVERED AREA		M ²
7	COVERED AREA OF THE EXISTING BUILDINGS	116.24	M ²
8	PLOT COVERAGE OF THE EXISTING BUILDING	17.8	%
9	COVERED AREA OF THE EXISTING BUILDING THAT IS PROPOSED TO BE DEMOLISHED	116.24	M ²
10	PLOT COVERAGE OF THE EXISTING BUILDING THAT IS PROPOSED TO BE DEMOLISHED	17.8	%
11	PERMISSIBLE COVERAGE @ 40%	261.20	M ²
12	PROPOSED COVERAGE OF THE BUILDING	1306	M ²
13	PLOT COVERAGE OF THE PROPOSED BUILDING	19.8	%
14	COMBINED COVERED AREA OF THE EXISTING BUILDING TO BE MAINTAINED AND THAT OF THE PROPOSED BUILDING	NA	
15	COMBINED COVERED AREA OF THE EXISTING BUILDING TO BE MAINTAINED AND THAT OF THE PROPOSED BUILDING	NA	
16	FLOOR AREA PERMISSIBLE	200	%
17	FLOOR AREA PERMISSIBLE @ 200%	1306	
18	WETHER ANY ADDITIONAL AREA HAS BEEN CLAIMED FOR F.A.R PURPOSE	NIL	
19	AREA OCCUPIED WITHIN ROAD WADENING	NIL	
20	TOTAL FLOOR AREA PERMISSIBLE	1306	M ²
21	THEREFORE, TOTAL FLOOR AREA CONSUMED	1239.54	M ²
22	TOTAL FAR CONSUMED	189.8%	%
23	FRONT SETBACK		
24	EAST SIDE	5	M
25	WEST SIDE	5	M
26	SIDE SETBACKS		
27	NORTH SIDE	6.5	M
28	SOUTH SIDE	6.95	M
29	HEIGHT OF THE PLINTH	NIL	M
30	HEIGHT OF THE BUILDING	24	M

NET FLOOR AREA	AREA (sqm)
Stilt Floor	0
First Floor	166.04
Second Floor	166.04
Third Floor	166.04
Fourth Floor	166.04
Fifth Floor	166.04
Sixth Floor	148.91
Seventh Floor	140.59
Eighth Floor	119.84
Terrace Floor	0.00
NET FLOOR AREA	1239.54
Permissible FAR at 200%	1306

AREA DETAILS FLOOR WISE (SQM)													
FLOOR REFERENCE	USE	BUILTUP AREA (SQM)	AREA FREE OF FAR								TOTAL FREE OF FAR	FLOOR AREA (SQM)	
			BALCONY	STAIRCASE AND LIFT	TERRACE (SQM)	PARKING	SWIMMING POOL	DUCT	BASEMENT/RAMP	STILT			7.5 OF FLOOR AREA LOBBY
BASEMENT	PARKING	346.85	0	6.06	0	340.79						346.85	0.00
STILT	PARKING	186.83	0	38.75						143.2	4.88	186.83	0.00
FIRST FLOOR	RESIDENTIAL	248.98	39.31	38.75	0.00						4.88	82.94	166.04
SECOND FLOOR	RESIDENTIAL	254.72	39.31	38.75	5.74						4.88	88.68	166.04
THIRD FLOOR	RESIDENTIAL	255.69	39.31	38.75	6.71						4.88	89.65	166.04
FOURTH FLOOR	RESIDENTIAL	254.72	39.31	38.75	5.74						4.88	88.68	166.04
FIFTH FLOOR	RESIDENTIAL	255.69	39.31	38.75	6.71						4.88	89.65	166.04
SIXTH FLOOR	RESIDENTIAL	254.72	39.31	38.75	22.87						4.88	105.81	148.91
SEVENTH FLOOR	RESIDENTIAL	238.56	39.31	47.07	6.71						4.88	97.97	140.59
EIGHTH FLOOR	RESIDENTIAL	204.36	15.14	58.76	5.74						4.88	84.52	119.84
TERRACE FLOOR		231.96	0	79.36	114.37						4.88	231.96	0.00
TOTAL		2733.08											1239.54

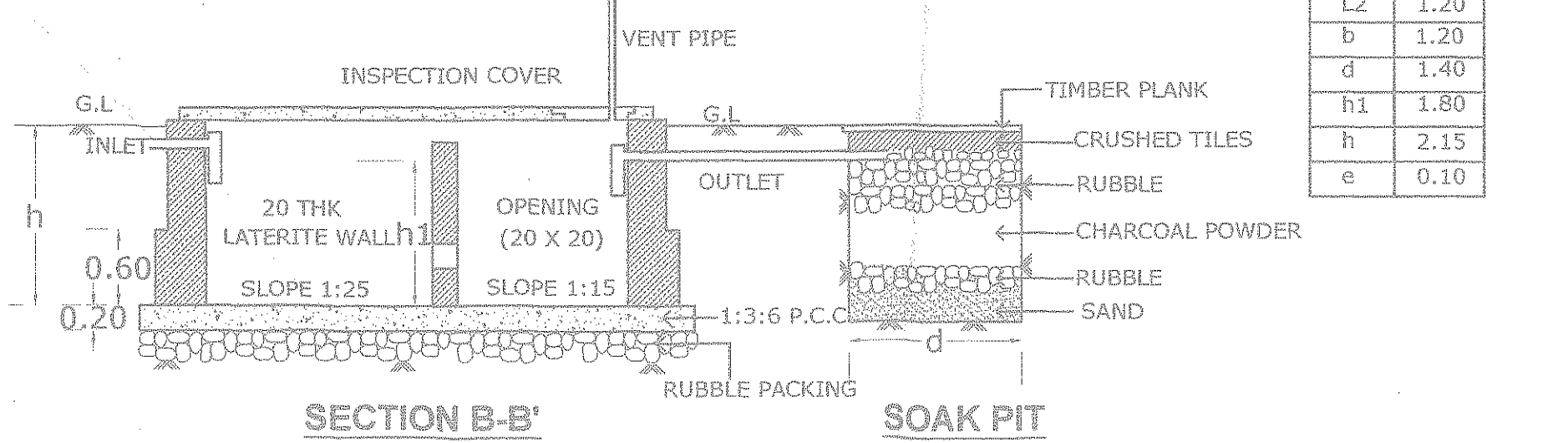
LENGTH OF COMPUND WALL 102.13 MT



PLAN OF SEPTIC TANK

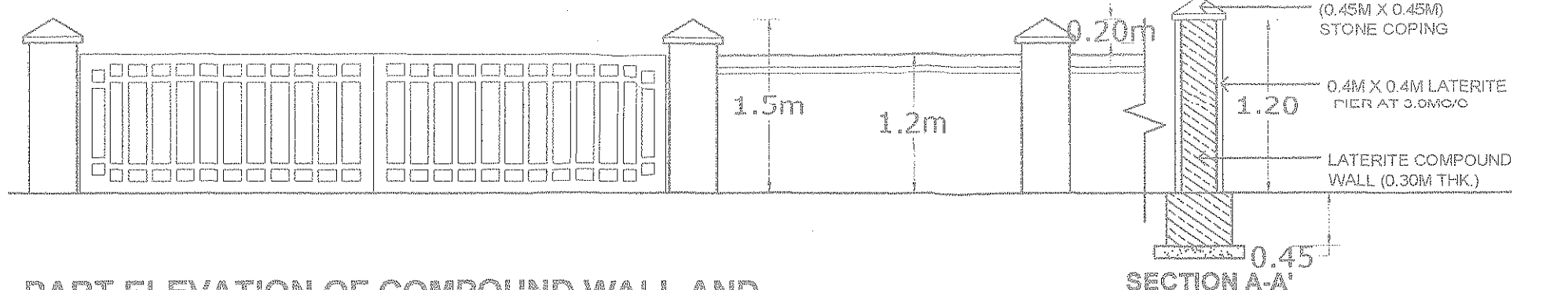
SECTION A-A

FOR 50 USERS	
L1	2.40
L2	1.20
b	1.20
d	1.40
h1	1.80
h	2.15
e	0.10



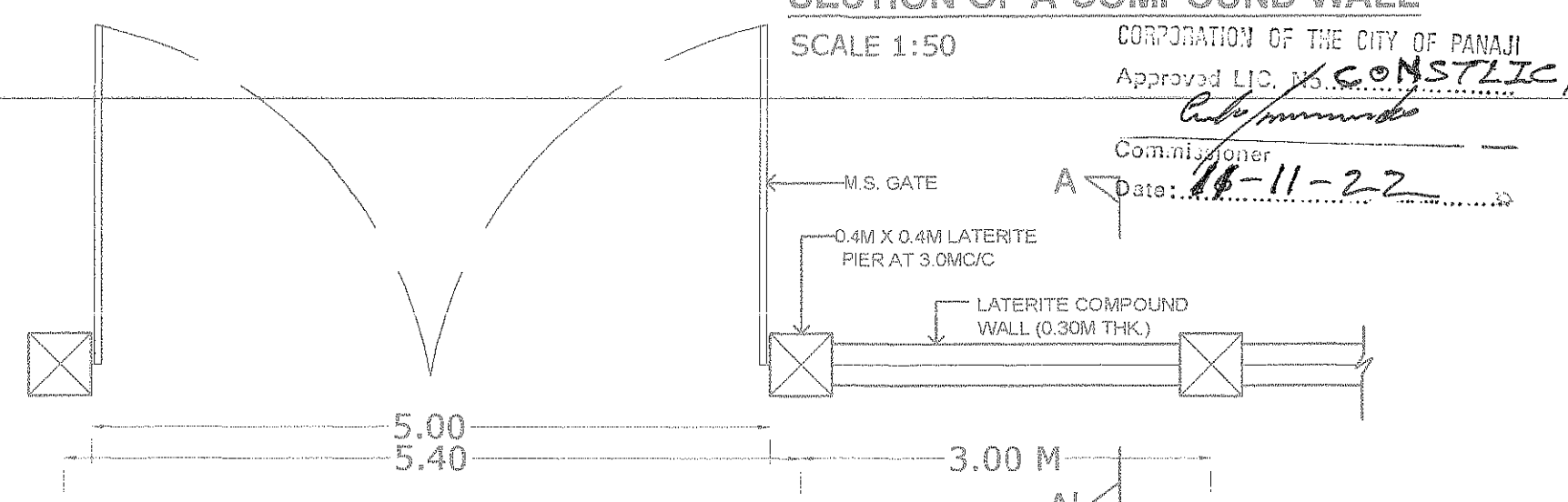
SECTION B-B'

SOAK PIT

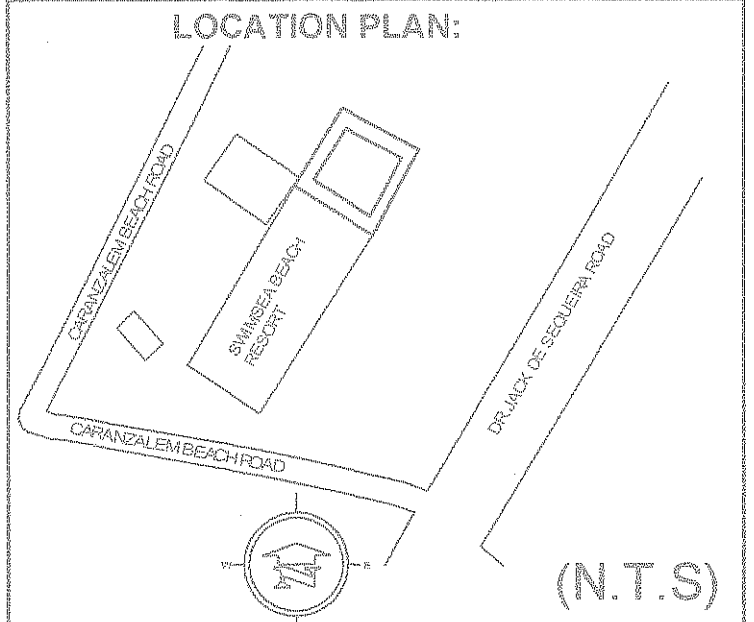


PART ELEVATION OF COMPUND WALL AND GATE SCALE 1:50

SECTION OF A COMPUND WALL SCALE 1:50



PLAN OF COMPUND WALL AND GATE SCALE 1:50



LOCATION PLAN:

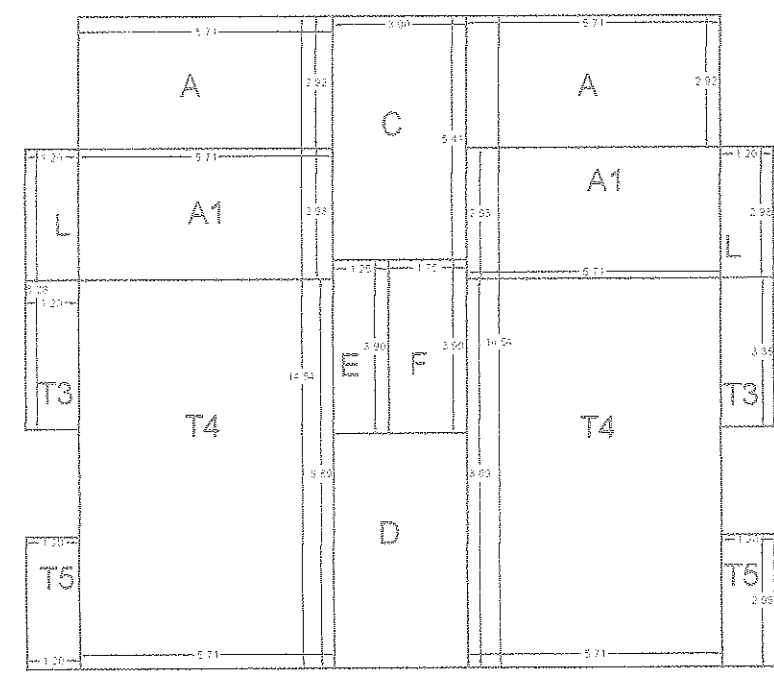
CLIENT:
Meridian Estates Pvt. Ltd
Office No. 17, V Mall, Asha Nagar, Kandivali East, Mumbai - 400101

PROJECT:
PROPOSED RESIDENTIAL BUILDING AT CARANZALEM CHALTA NO. 164/2 TALUKA TISWADI

ARCHITECT:
OM V. PRABHUGAONKAR
ARCHITECT
TCPD AR/0110/2010
COA CA/2004/34637

STUDIO EARTH
G4, BLDG I, KAMAT COMPLEX, TONCA PANJIM, GOA-403001.

PROJECT CODE	DATE
SD/RBC/0221	23 NOVEMBER 2021
SUBMISSION DRAWING NO: 1	NORTH
DRAWN BY:	
ANJALI GOUR	
SCALE:	
1:100	



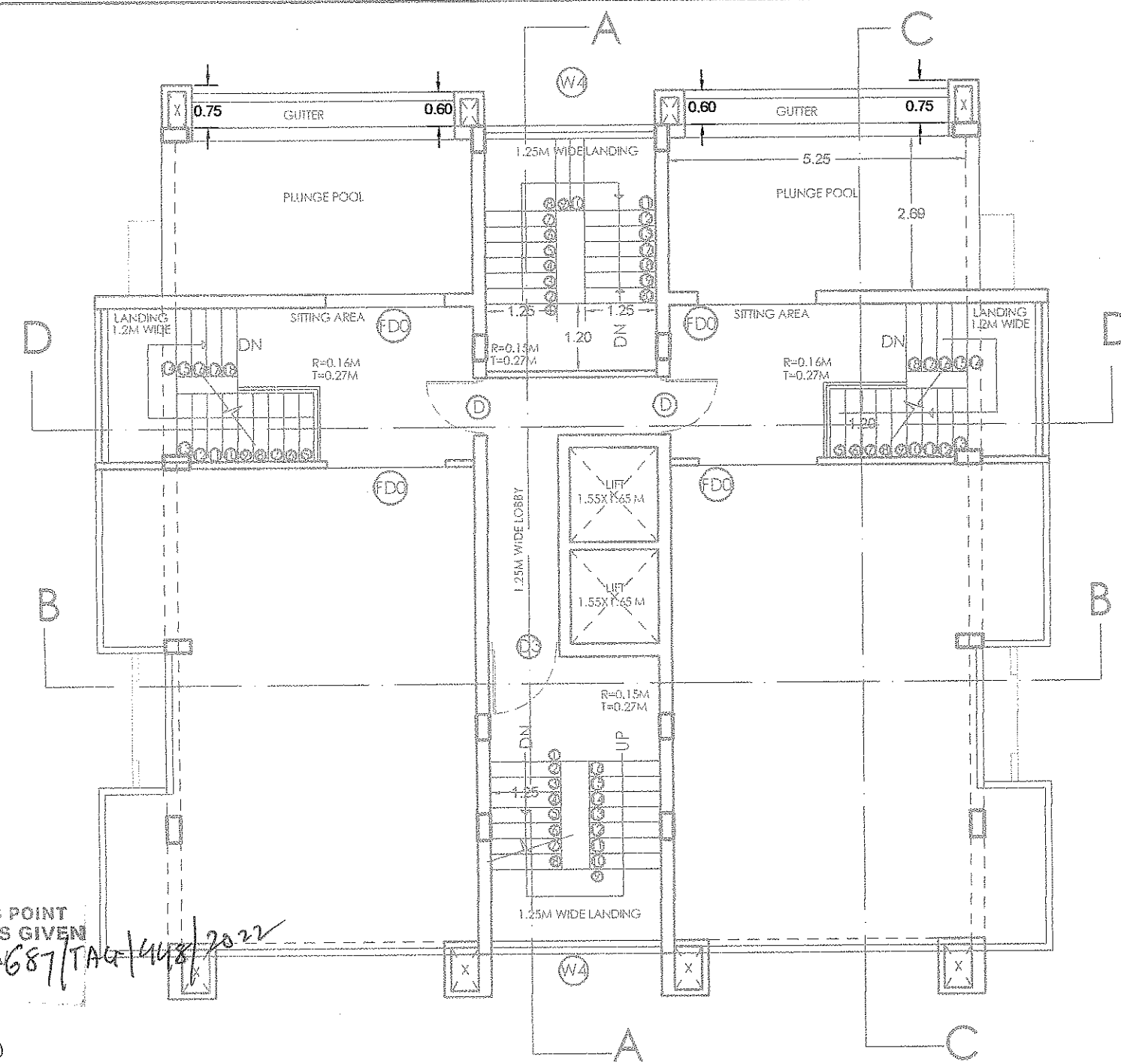
TERRACE FLOOR PLAN

TERRACE FLOOR					
TERRACE	L	B	A=LxB	N	A=NxA
T4	5.71	8.69	49.62	2.00	99.24
T3	1.20	3.35	4.02	2.00	8.04
T5	1.20	2.96	3.55	2.00	7.10
TOTAL (A)					114.38

SWIMMING POOL					
A	L	B	A=LxB	N	A=NxA
A	5.71	2.92	16.67	2.00	33.35

LOBBY					
E	L	B	A=LxB	N	A=NxA
E	1.25	3.90	4.88	1.00	4.88
TOTAL (C)					4.88

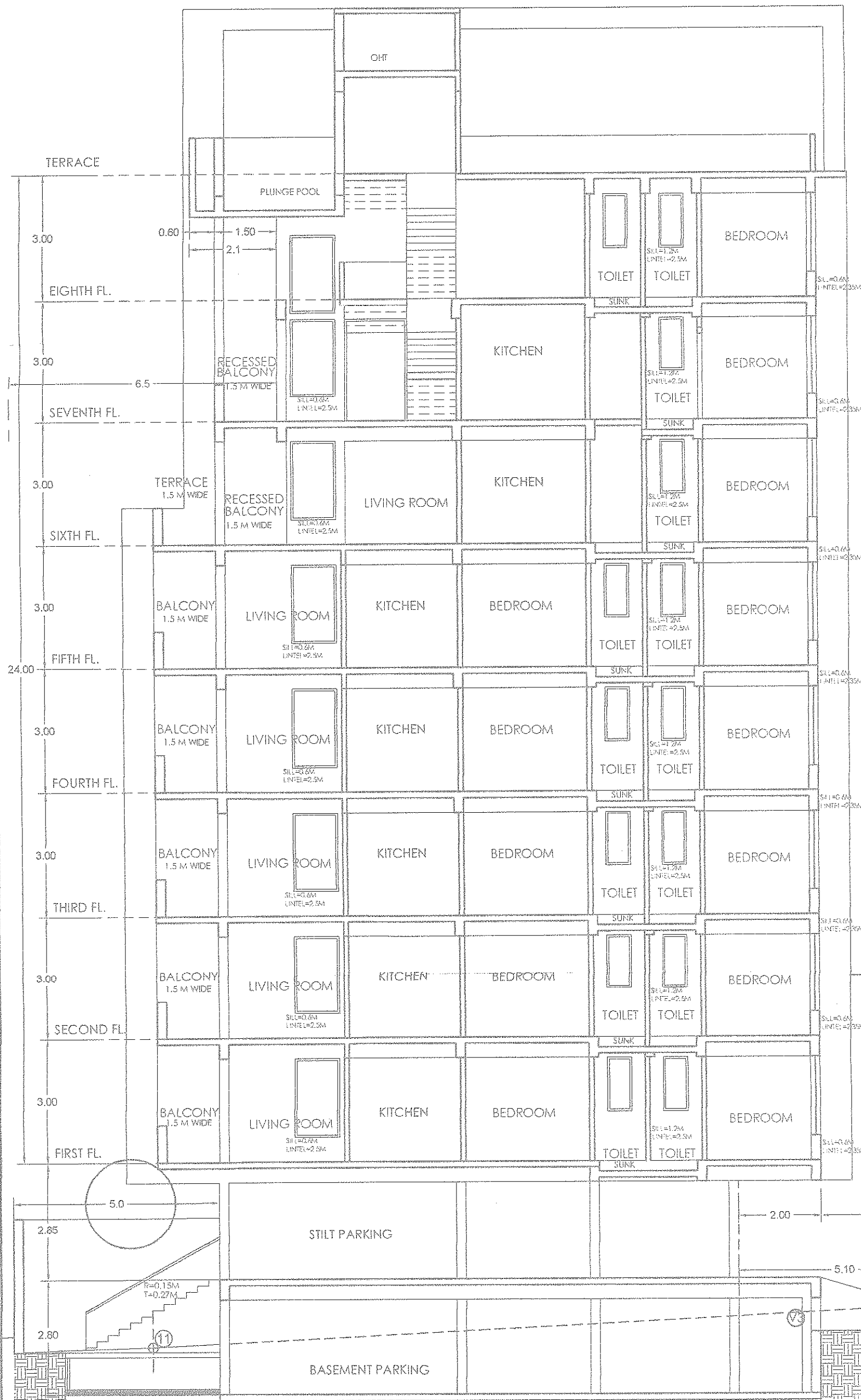
LIFT & STAIRCASE					
C	L	B	A=LxB	N	A=NxA
C	3.00	5.41	16.23	1.00	16.23
D	3.00	5.23	15.69	1.00	15.69
F	1.75	3.90	6.83	1.00	6.83
A1	5.71	2.93	16.73	2.00	33.46
L	2.98	1.20	3.58	2.00	7.15
TOTAL (E)					79.36
TOTAL (A+F+B+C+D+E)					231.96



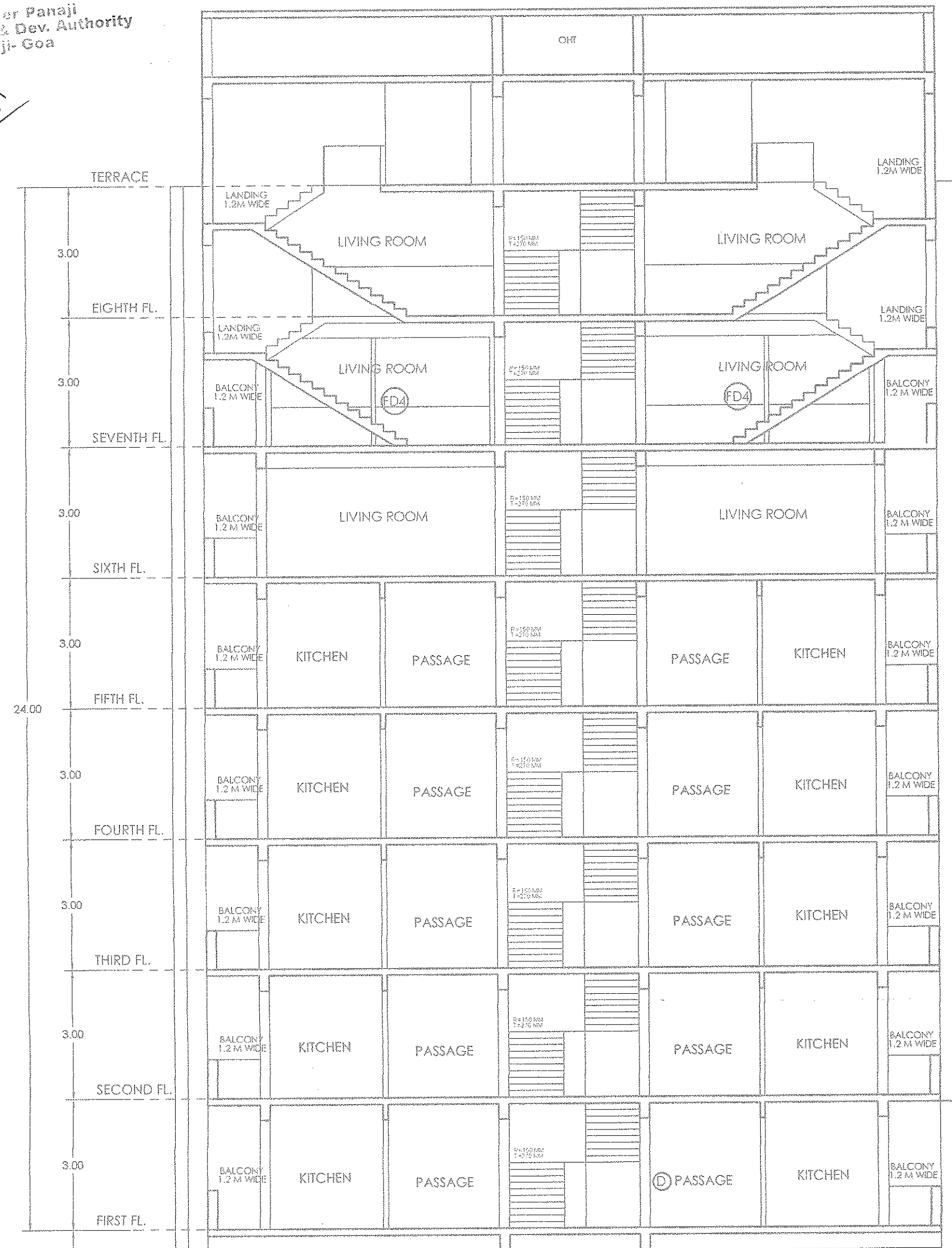
TERRACE FLOOR PLAN SCALE: 1:100

N.O.C. is Issued subject to the Condition Stipulated in the letter No. UMC/DHS/NO/2022-2023/1642 Dated: 16/08/2022
 Health Officer
 Urban Health Centre Panaji

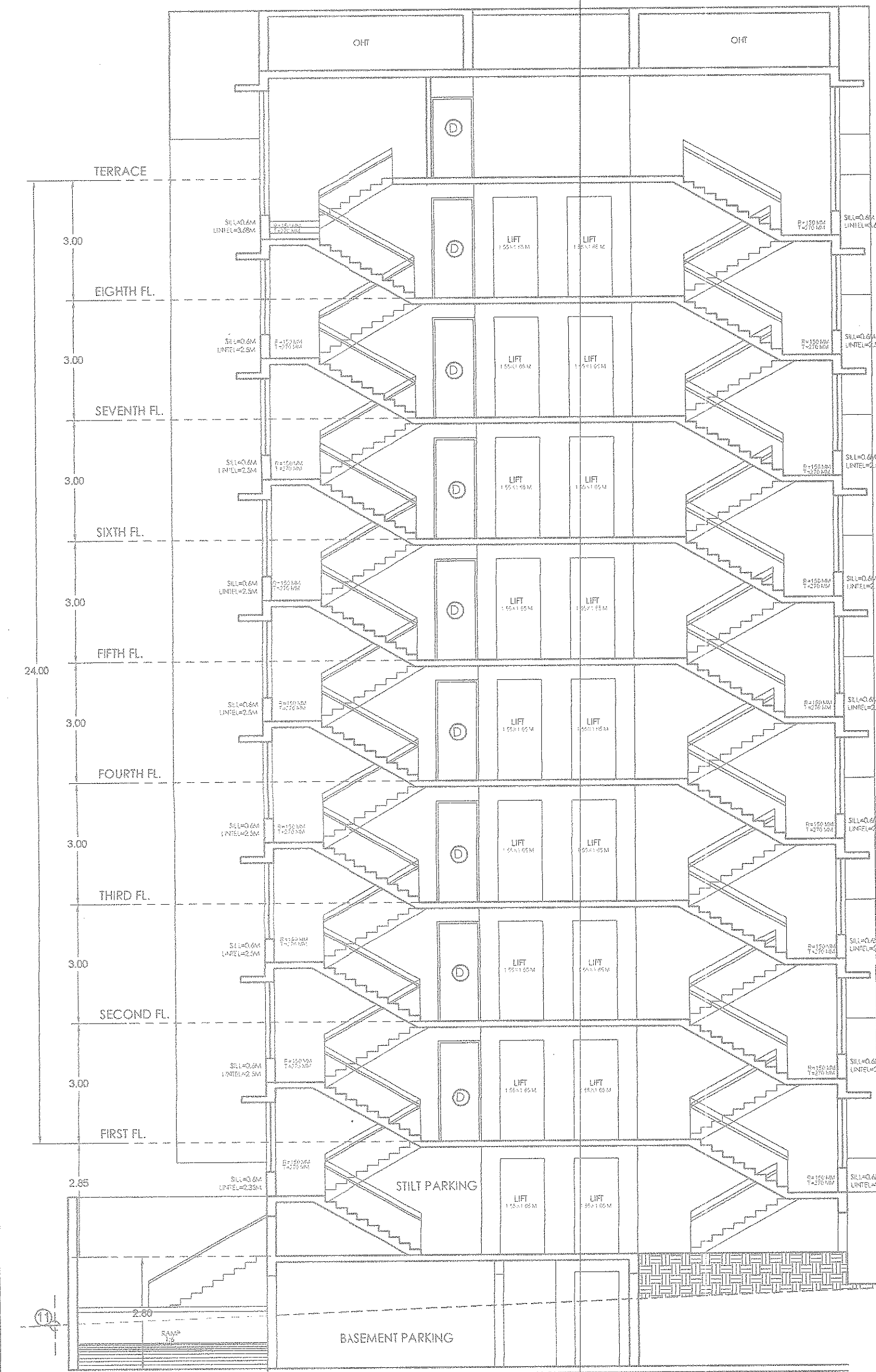
APPROVED FROM PLANNING POINT SUBMITTED TO CONDITIONS GIVEN VIDE ORDER NO: GPPDA/687/TA/14/14/2022 DATED: 2 AUG 2022
 MEMBERS SECRETARY
 Greater Panaji
 Planning & Dev. Authority
 Panaji-Goa



SECTION CC SCALE: 1:100



SECTION DD SCALE: 1:100



SECTION AA SCALE: 1:100

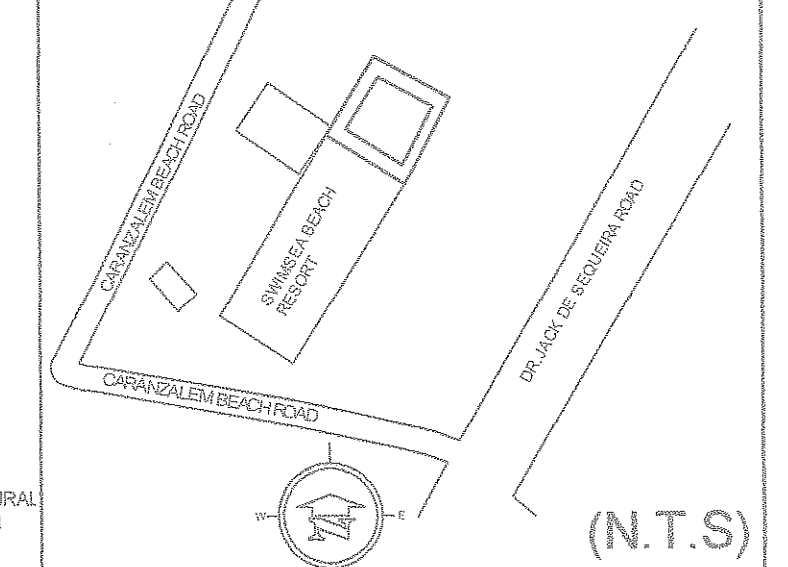
CORPORATION OF THE CITY OF PANAJI
 Approved L.P. No. CONST/IC/CP/2022-2023/2
 Date: 11/11/2022

GENERAL NOTES

1. ALL DIMENSIONS AND LEVELS ARE IN METERS.
2. THIS DRAWING IS NOT TO BE SCALED, FOLLOW WRITTEN DIMENSIONS.
3. ANY DISCREPANCY SHALL FIRST BE CLARIFIED WITH THE CONSULTANT/ARCHITECT BEFORE PROCEEDING ANY FURTHER.

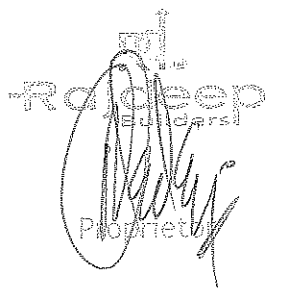
DOOR WINDOW SCHEDULE				
TYPE	WIDTH (m)	HEIGHT (m)	SILL HT (m)	LINTLE HT (m)
D	1.00	2.50		BEAM BOTTOM
D1	0.90	2.50		BEAM BOTTOM
D2	0.80	2.10		2.10
D3	1.25	2.10		BEAM BOTTOM
V	0.60	1.00	1.5	BEAM BOTTOM
V1	4.81	0.80	1.5	BEAM BOTTOM
V2	2.77	0.80	1.5	BEAM BOTTOM
V3	5.03	0.80	1.5	BEAM BOTTOM
W	1.20	1.9	0.6	BEAM BOTTOM
W3	4.05	1.9	0.6	BEAM BOTTOM
W4	3.00	1.9	0.60	BEAM BOTTOM
FD	5.03	2.5		BEAM BOTTOM
FD1	2.59	2.50		BEAM BOTTOM
FD2	2.88	2.5		BEAM BOTTOM
FD3	1.74	2.5		BEAM BOTTOM
FD4	2.25	2.5		BEAM BOTTOM
FD5	5.25	2.5		BEAM BOTTOM
FDO	2.09	2.00		BEAM BOTTOM

LOCATION PLAN:



(N.T.S)

CLIENT:



MERIDIAN ESTATES PVT. LTD
 OFFICE NO. 17, V MALL, ASHA NAGAR,
 KANDIVALI EAST, MUMBAI - 400101

PROJECT:

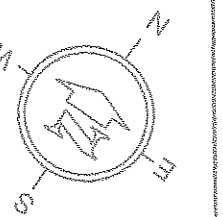
PROPOSED RESIDENTIAL BUILDING AT
 CARANZALEM CHALTA NO. 164/2
 TALUKA TISWADI

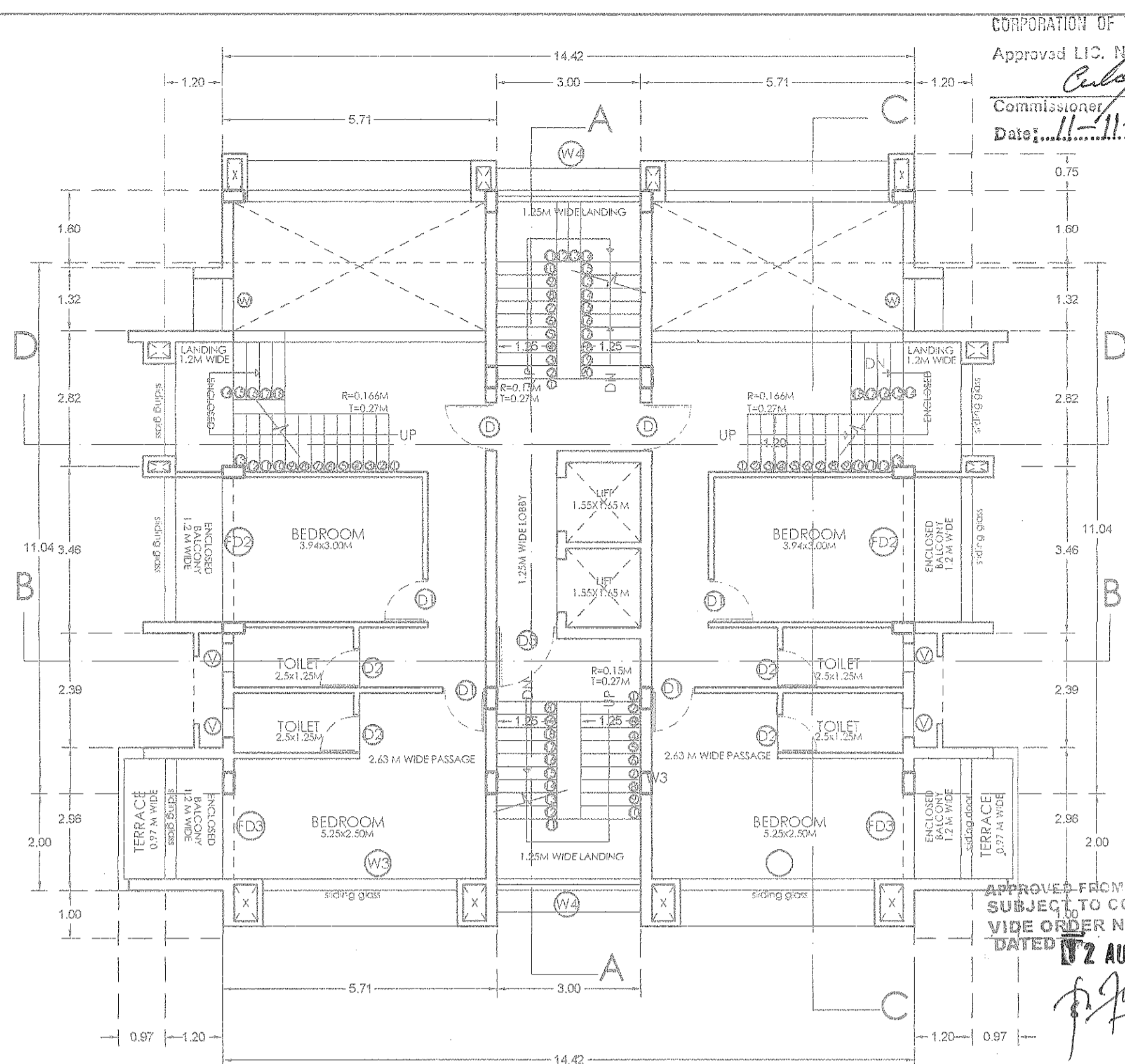
ARCHITECT:

OM V. PRABHUGAONKAR
 ARCHITECT
 TCPD AR/0118/2010
 COA CA/2004/34637

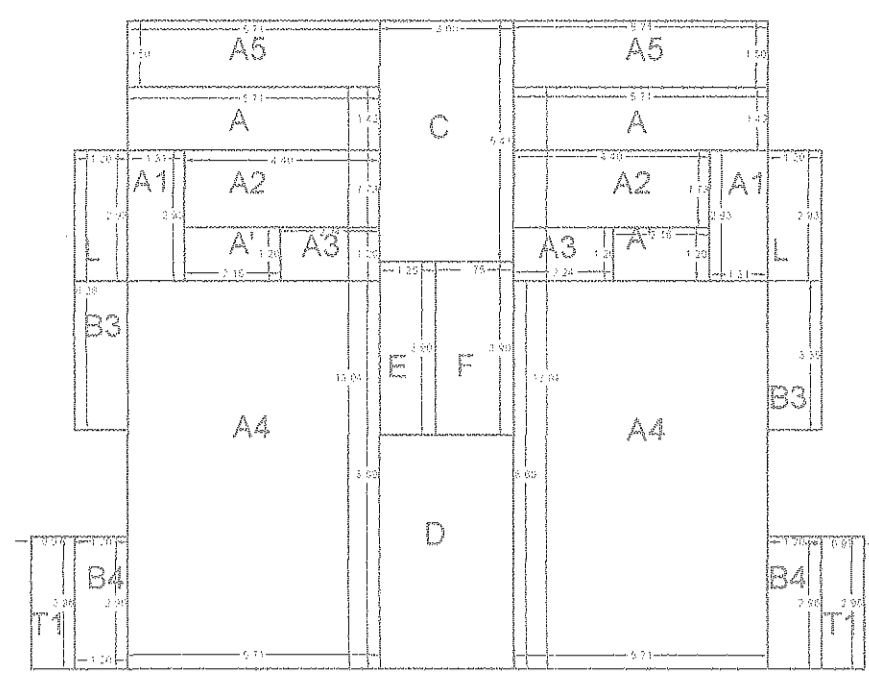
STUDIO EARTH
 G4, BLDG 1, KAMAT COMPLEX, TONCA
 PANJIM, GOA-403001.

PROJECT CODE	DATE
SD/RBC/0221	23 NOVEMBER 2021
SUBMISSION DRAWING NO: 5	NORTH
DRAWN BY: ANJALI GOUR	
SCALE: 1:100	





EIGHTH FLOOR PLAN
SCALE- 1:100



EIGHTH FLOOR PLAN

SALEABLE AREA

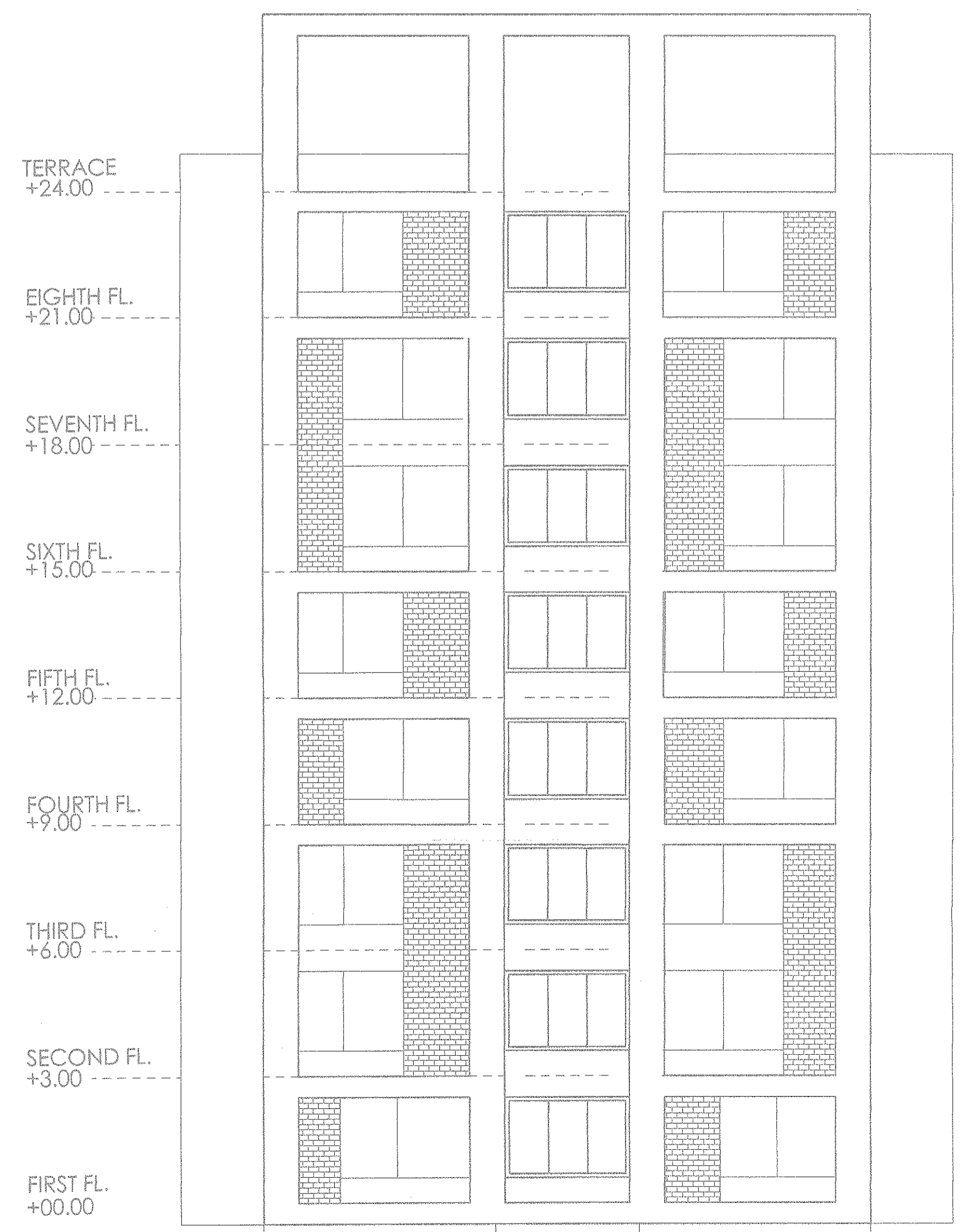
APPROVED FROM PLANNING POINT
SUBJECT TO CONDITIONS GIVEN
VIDE ORDER NO: GPPDA/6877/11/14/8/2022
DATED 02 AUG 2022

1924 SQ.M
102.12 SQ.M

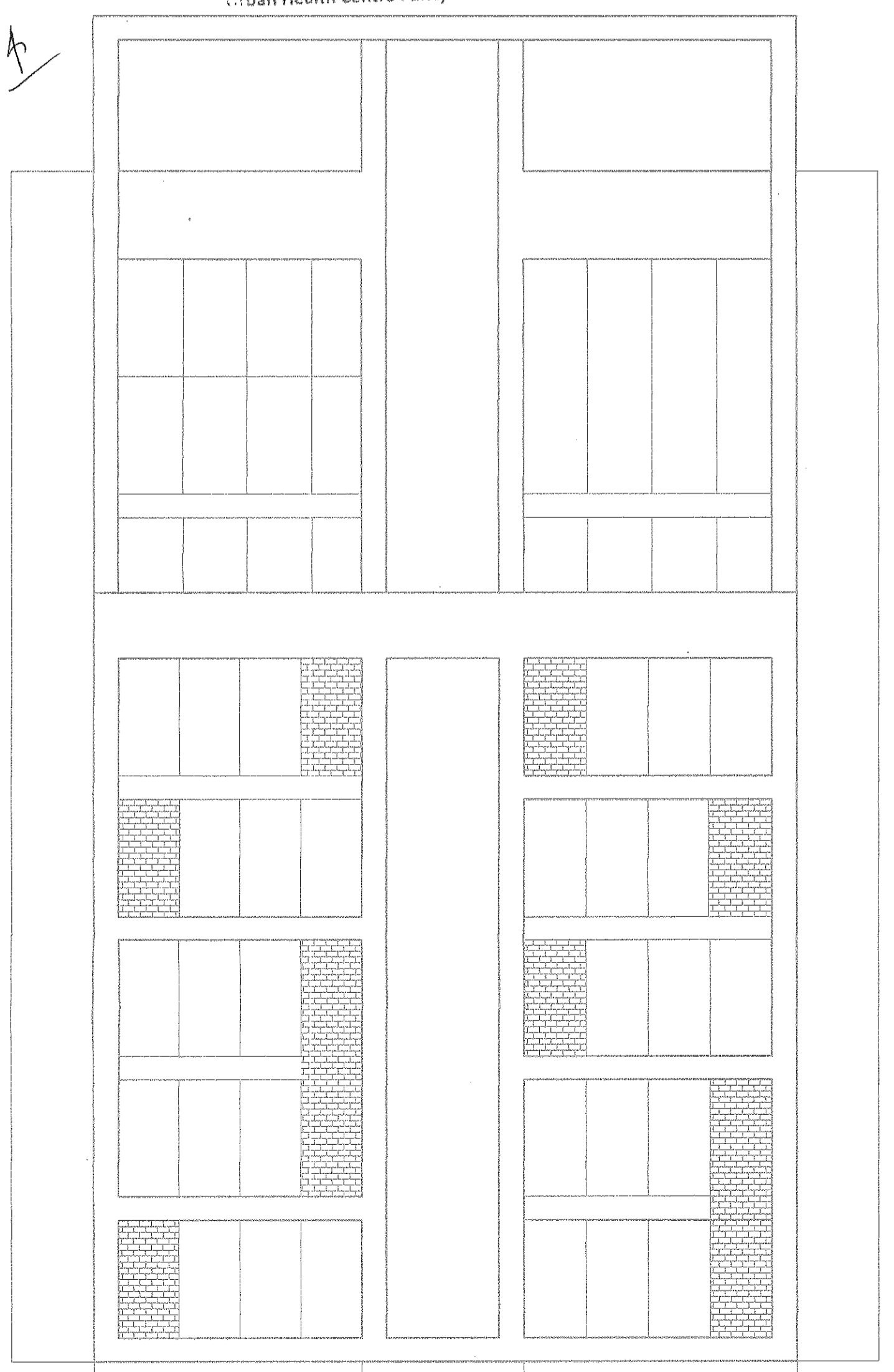
MEMBER SECRETARY
Greater Panaji
Planning & Dev. Authority
Panaji- Goa

N.O.C. is issued subject to the
Condition Stipulated in the letter
No. UHCP/DHS/NO/2022-2023/1642
Dated 02 AUG 2022
Health Officer
Urban Health Centre Panaji

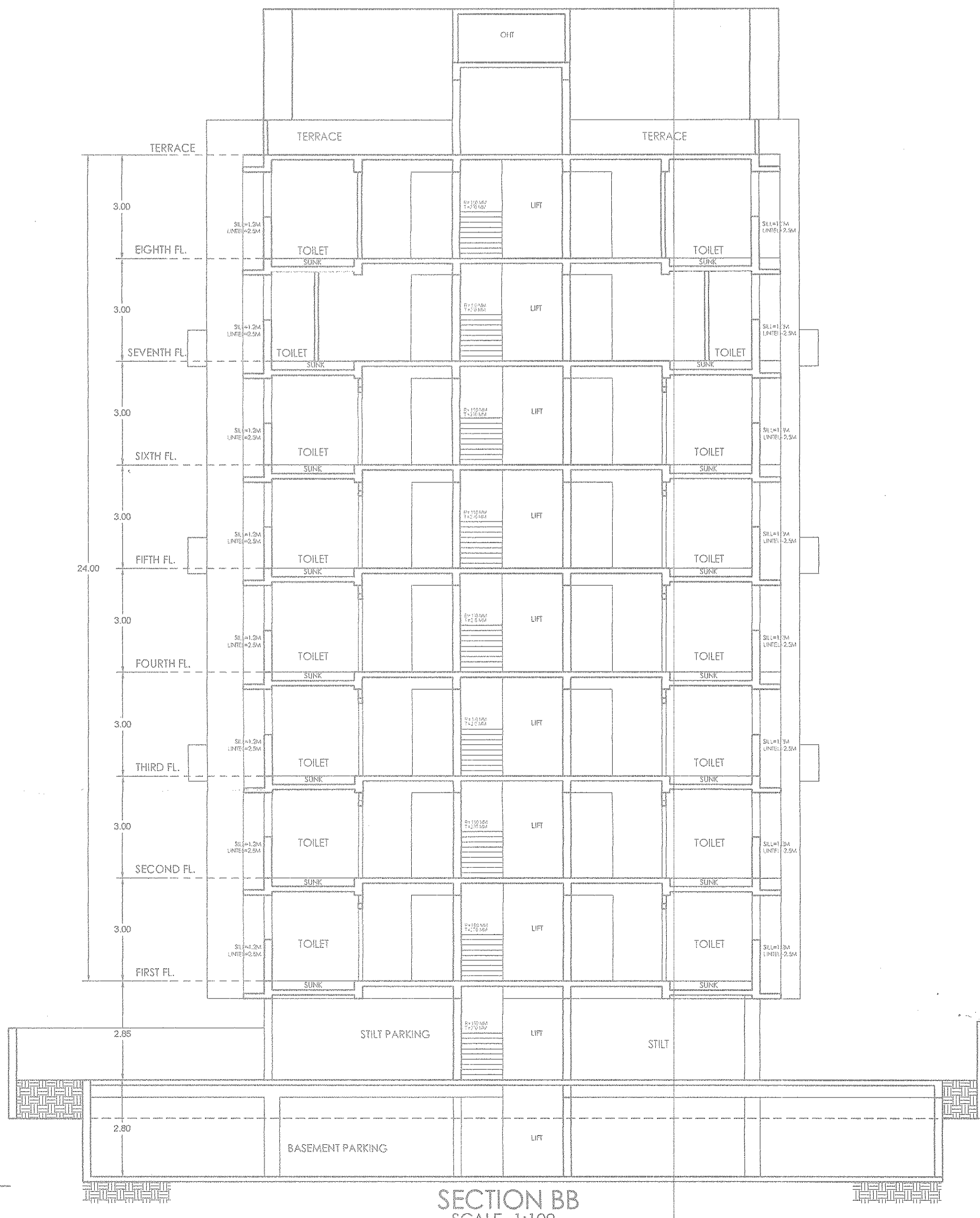
EIGHTH FLOOR					
BLOCK	L	B	A=LXB	N	A=NXA
A2	4.40	1.73	7.61	2.00	15.22
A3	2.24	1.20	2.69	2.00	5.38
A4	5.71	8.69	49.62	2.00	99.24
TOTAL (A)					119.84
DUCT					
A5	5.71	1.50	8.57	2.00	17.13
A	5.71	1.42	8.11	2.00	16.22
TOTAL (F)					33.35
TERRACE					
T	0.97	2.96	2.87	2.00	5.74
TOTAL (B)					5.74
LOBBY					
E	1.25	3.90	4.88	1.00	4.88
TOTAL (C)					4.88
BALCONY					
B3	1.20	3.35	4.02	2.00	8.04
B4	1.20	2.96	3.55	2.00	7.10
TOTAL (D)					15.14
LIFT & STAIRCASE					
C	3.00	5.41	16.23	1.00	16.23
D	3.00	5.23	15.69	1.00	15.69
F	1.75	3.90	6.83	1.00	6.83
L	2.98	1.20	3.58	2.00	7.15
A'	2.16	1.20	2.59	2.00	5.18
A1	1.31	2.93	3.84	2.00	7.68
TOTAL (E)					58.76
TOTAL BUILTUP Z (A+F+B+C+D+E)					237.71
NET BUILT-UP AREA (Z-F)					204.36



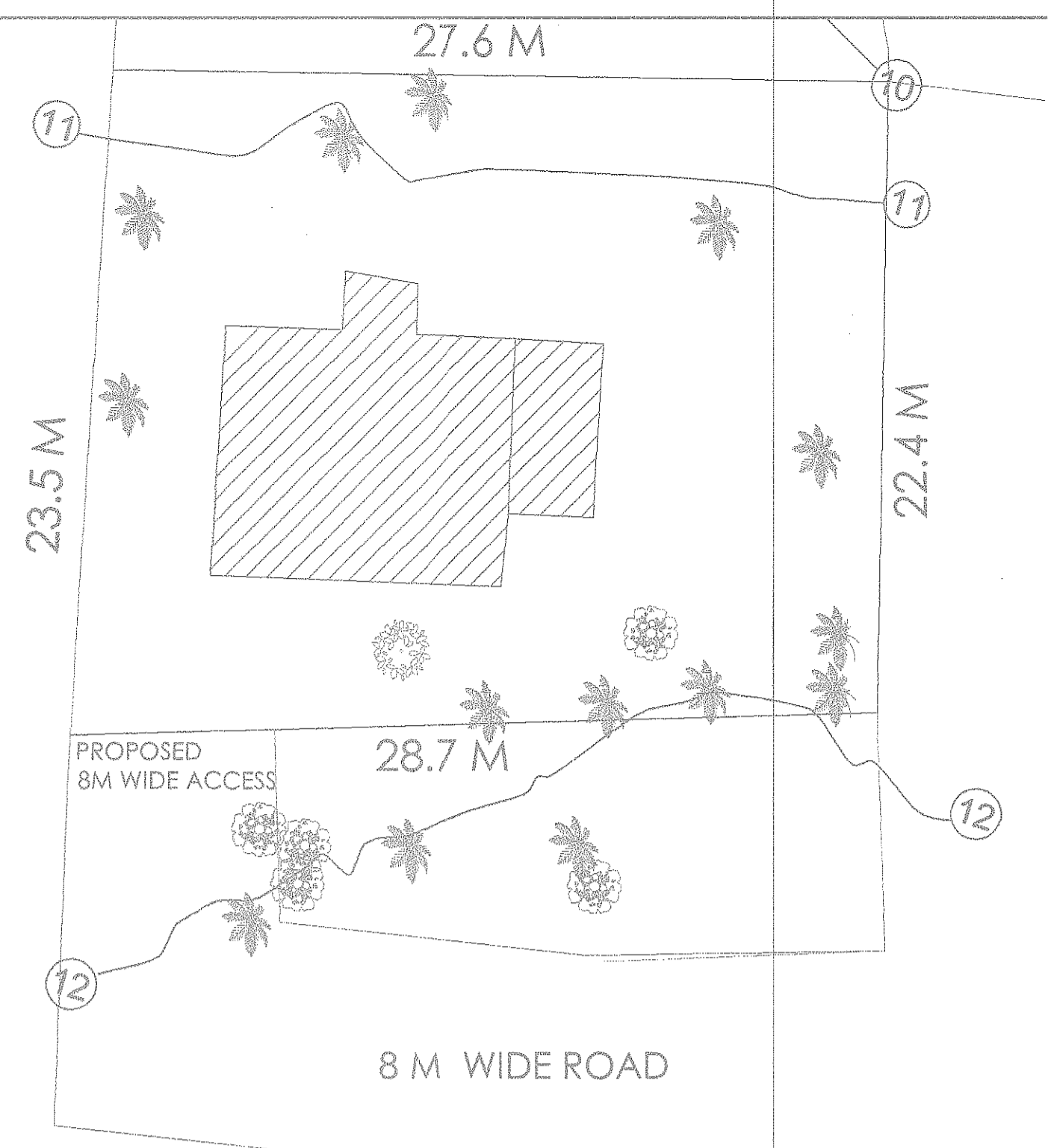
FRONT ELEVATION
SCALE- 1:100



SEA SIDE ELEVATION
SCALE- 1:100



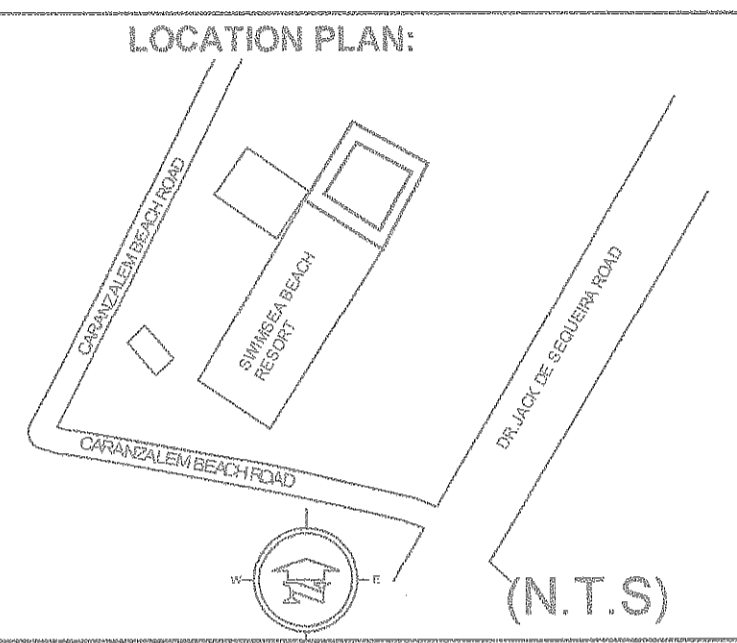
SECTION BB
SCALE- 1:100



CONTOUR PLAN
SCALE- 1:200

- GENERAL NOTES**
1. ALL DIMENSIONS AND LEVELS ARE IN METERS.
 2. THIS DRAWING IS NOT TO BE SCALED, FOLLOW WRITTEN DIMENSIONS.
 3. ANY DISCREPANCY SHALL FIRST BE CLARIFIED WITH THE CONSULTANT/ARCHITECT BEFORE PROCEEDING ANY FURTHER.

DOOR WINDOW SCHEDULE				
TYPE	WIDTH (m)	HEIGHT (m)	SILL HT (m)	LINTLE HT(m)
D	1.00	2.50		BEAM BOTTOM
D1	0.90	2.50		BEAM BOTTOM
D2	0.80	2.10		2.10
D3	1.25	2.10		BEAM BOTTOM
V	0.60	1.00	1.5	BEAM BOTTOM
V1	4.81	0.80	1.5	BEAM BOTTOM
V2	2.77	0.80	1.5	BEAM BOTTOM
V3	5.03	0.80	1.5	BEAM BOTTOM
W	1.20	1.9	0.6	BEAM BOTTOM
W3	4.05	1.9	0.6	BEAM BOTTOM
W4	3.00	1.9	0.60	BEAM BOTTOM
FD	5.03	2.5		BEAM BOTTOM
FD1	2.59	2.50		BEAM BOTTOM
FD2	2.88	2.5		BEAM BOTTOM
FD3	1.74	2.5		BEAM BOTTOM
FD4	2.25	2.5		BEAM BOTTOM
FDS	5.25	2.5		BEAM BOTTOM
FDO	2.09	2.00		BEAM BOTTOM



LOCATION PLAN:
SCALE- 1:200

CLIENT:
Meridian Estates Pvt. Ltd
OFFICE NO. 17, V MALL, ASHA NAGAR, KANDIVALI EAST, MUMBAI - 400101

PROJECT:
PROPOSED RESIDENTIAL BUILDING AT CARANZALEM CHALTA NO. 164/2 TALUKA TISWADI

ARCHITECT:
OM V. PRABHUGAONKAR
ARCHITECT
TCPD AR/0118/2010
COA CA/2004/34637

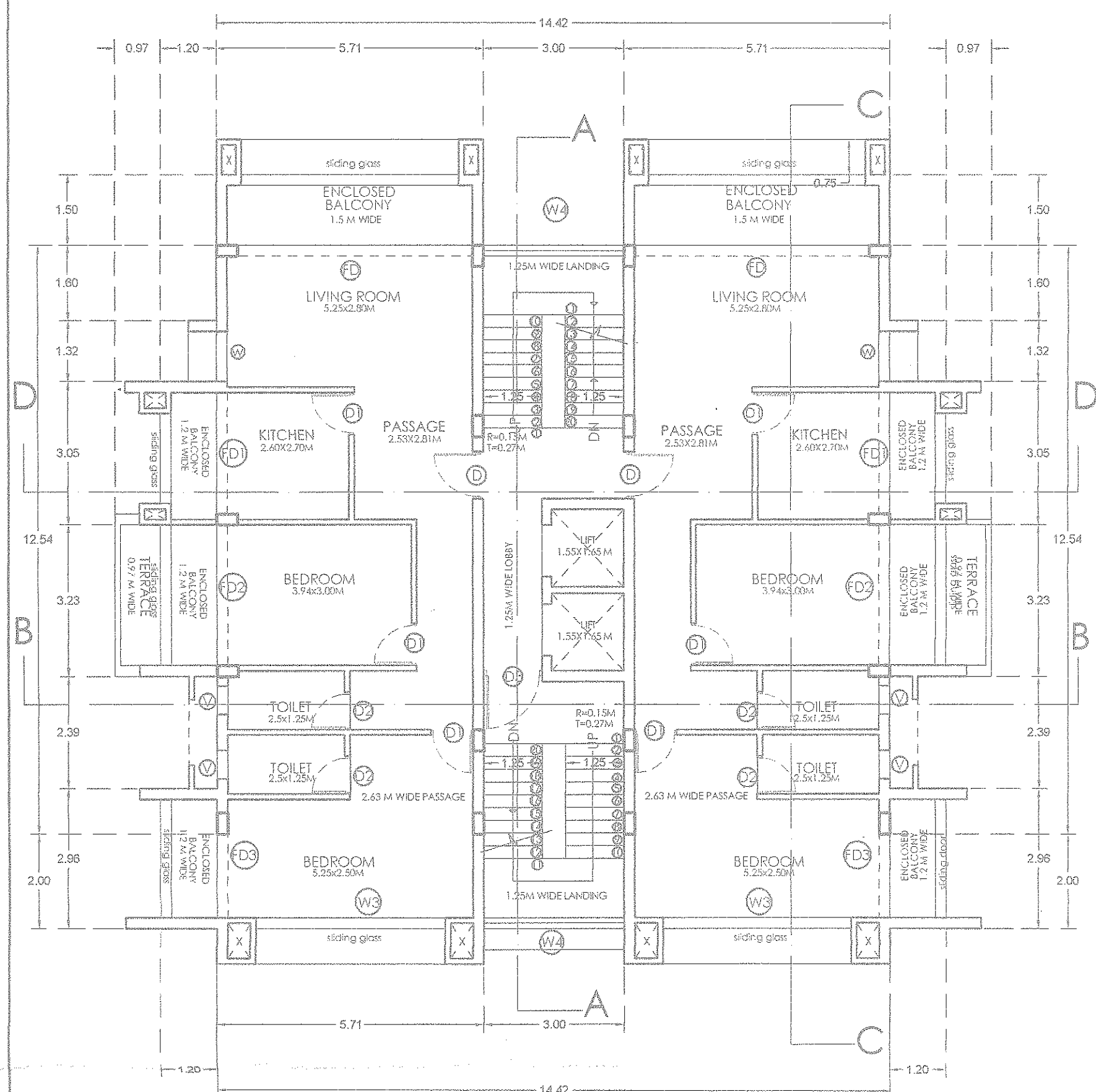
STUDIO EARTH
G4, BLDG 1, KAMAT COMPLEX, TONCA, PANJIM, GOA-403001.

PROJECT CODE	DATE
SD/RBC/0221	23 NOVEMBER 2021
SUBMISSION DRAWING NO: 4	NORTH
DRAWN BY: ANJALI GOUR	
SCALE: 1:100	

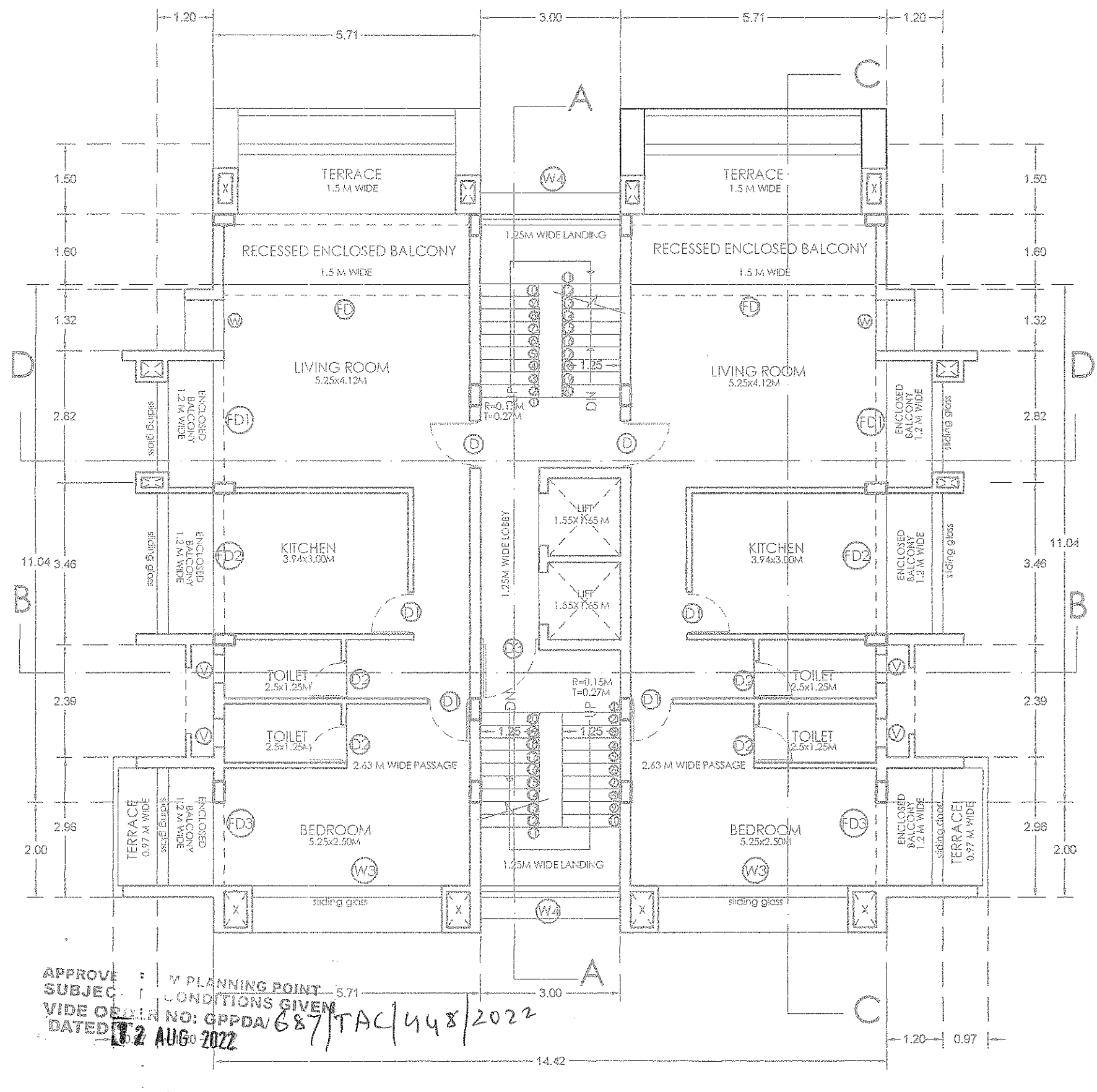
Municipal Engineer (Gr. 3)
Corporation of the City of Panaji

CORPORATION OF THE CITY OF PANAJI
Approved LIC. No. 1209.H.S.T.LIC/2022-2023/2
Date: 11-2-22

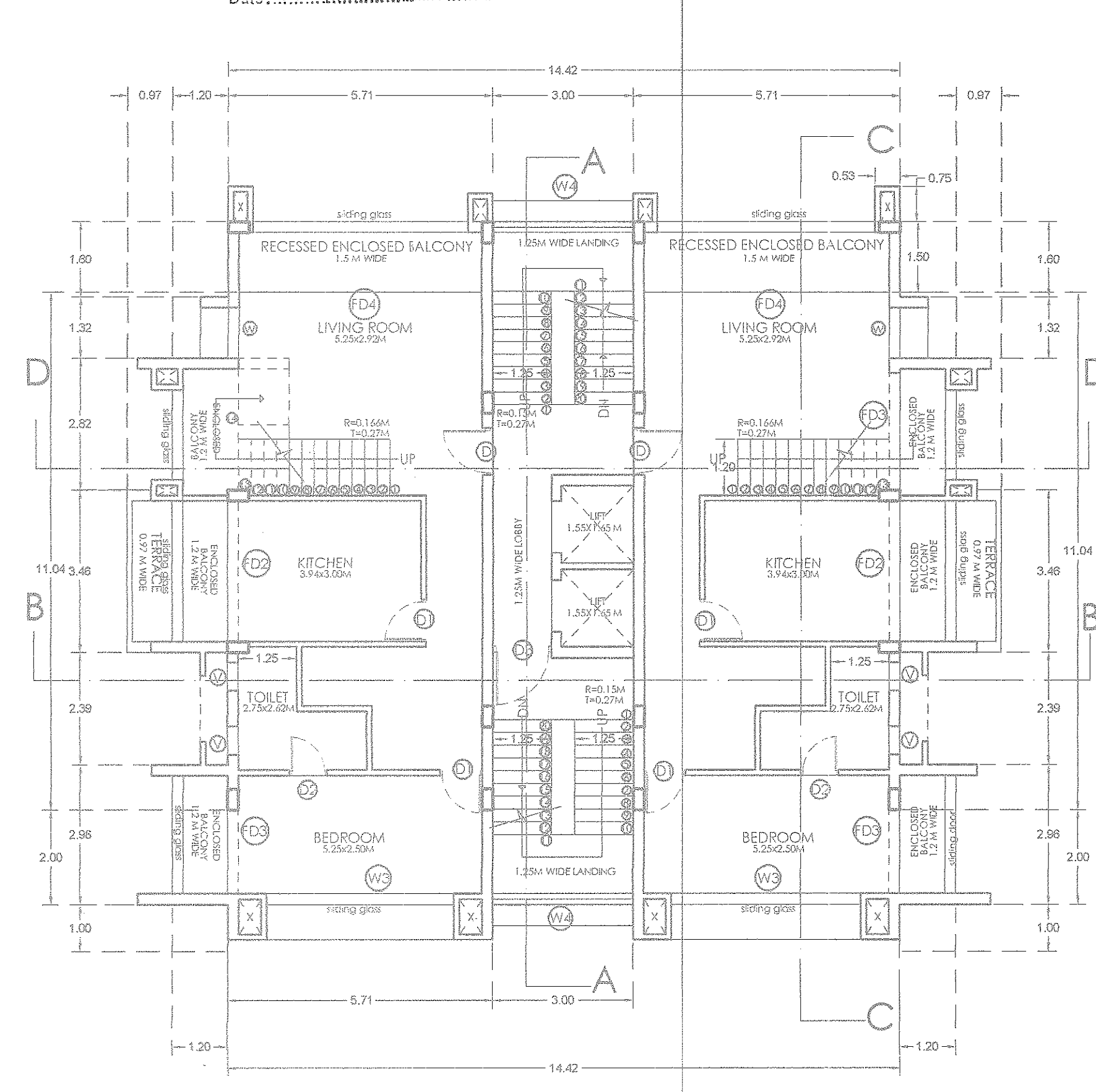
- GENERAL NOTES**
1. ALL DIMENSIONS AND LEVELS ARE IN METERS.
 2. THIS DRAWING IS NOT TO BE SCALED, FOLLOW WRITTEN DIMENSIONS.
 3. ANY DISCREPANCY SHALL FIRST BE CLARIFIED WITH THE CONSULTANT/ARCHITECT BEFORE PROCEEDING ANY FURTHER.



THIRD/FIFTH FLOOR PLAN
SCALE- 1:100



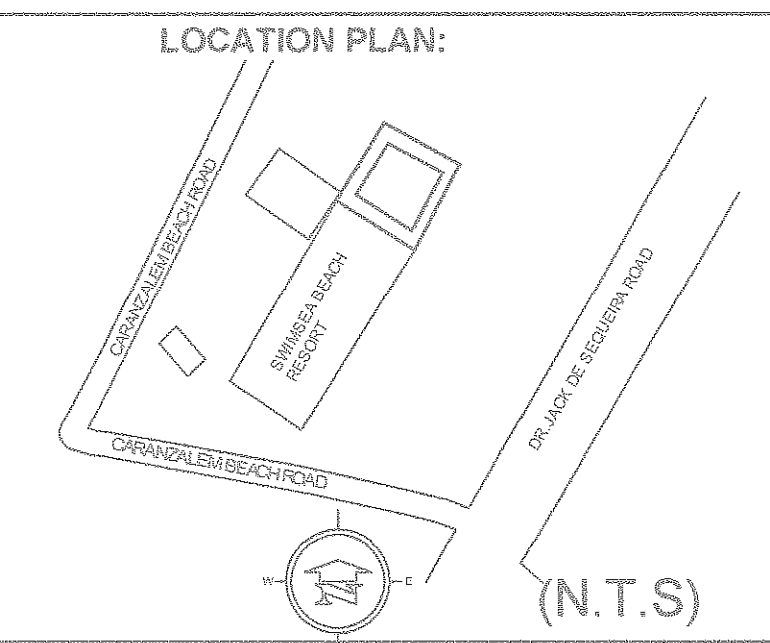
SIXTH FLOOR PLAN
SCALE- 1:100



SEVENTH FLOOR PLAN
SCALE- 1:100

DOOR WINDOW SCHEDULE

TYPE	WIDTH (m)	HEIGHT (m)	SILL HT (m)	LINTLE HT (m)
D	1.00	2.50		BEAM BOTTOM
D1	0.90	2.50		BEAM BOTTOM
D2	0.80	2.10		2.10
D3	1.25	2.10		BEAM BOTTOM
V	0.80	1.00	1.5	BEAM BOTTOM
V1	4.81	0.80	1.5	BEAM BOTTOM
V2	2.77	0.80	1.5	BEAM BOTTOM
V3	5.03	0.80	1.5	BEAM BOTTOM
W	1.20	1.9	0.6	BEAM BOTTOM
W3	4.05	1.9	0.6	BEAM BOTTOM
W4	3.00	1.9	0.60	BEAM BOTTOM
FD	5.03	2.5		BEAM BOTTOM
FD1	2.59	2.50		BEAM BOTTOM
FD2	2.88	2.5		BEAM BOTTOM
FD3	1.74	2.5		BEAM BOTTOM
FD4	2.25	2.5		BEAM BOTTOM
FD5	5.25	2.5		BEAM BOTTOM
FDO	2.09	2.00		BEAM BOTTOM



CLIENT:

ROJEEP
PROPRIETOR

MERIDIAN ESTATES PVT. LTD
OFFICE NO. 17, V MALL, ASHA NAGAR,
KANDIVALI EAST, MUMBAI - 400101

PROJECT:

PROPOSED RESIDENTIAL BUILDING AT
CARANZALEM CHALTA NO. 164/2
TALUKA TISWADI

ARCHITECT:

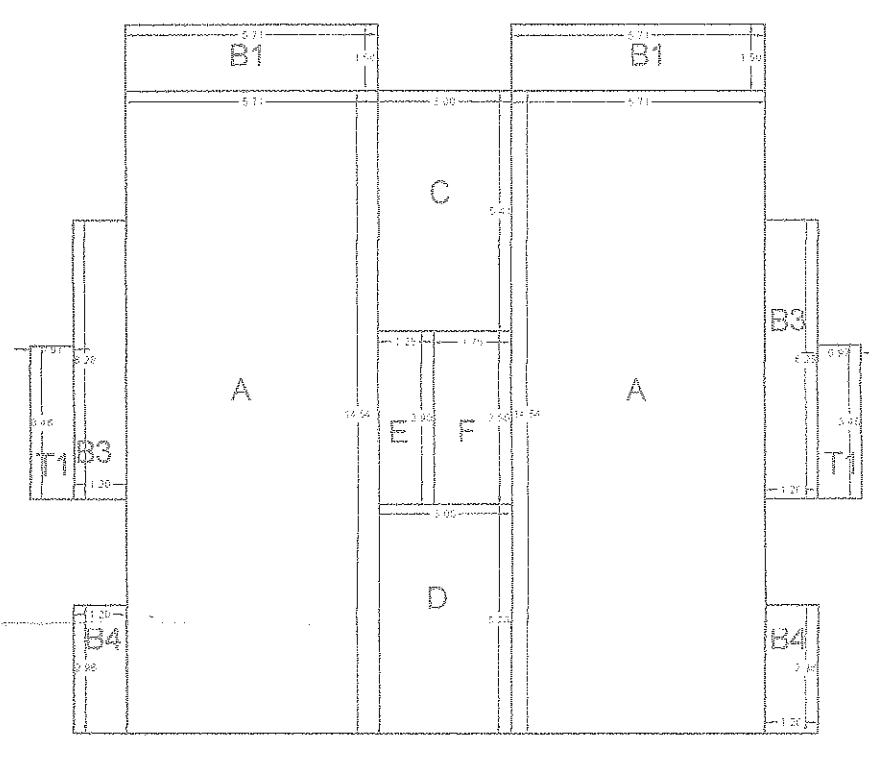
OM V. PRABHUGAONKAR
ARCHITECT

TCPD AR/0118/2010
COA CA/2004/34637

STUDIO EARTH
G4, BLDG 1, KAMAT COMPLEX, TONCA,
PANJIM, GOA-403001.

THIRD/FIFTH FLOOR

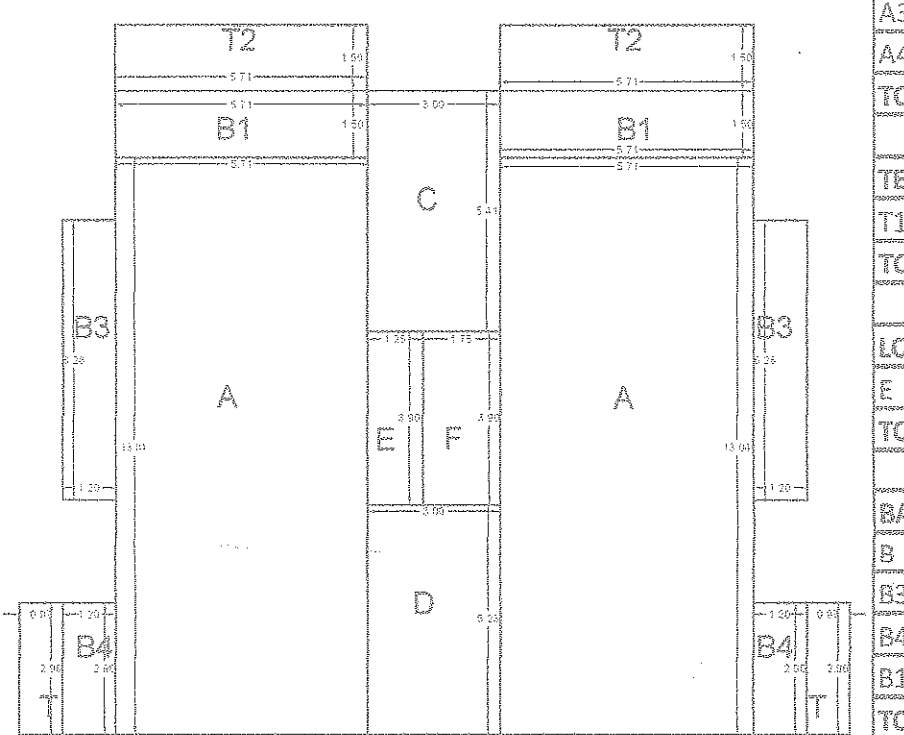
BLOCK	L	B	A=LXB	N	A=NXA
A	5.71	14.54	83.02	2.00	166.04
TOTAL (A)					166.04
TERRACE					
T1	0.97	3.46	3.36	2.00	6.71
TOTAL (B)					6.71
LOBBY					
E	1.25	3.90	4.88	1.00	4.88
TOTAL (C)					4.88
BALCONY					
B1	5.71	1.50	8.57	2.00	17.13
B3	1.20	6.28	7.54	2.00	15.07
B4	1.20	2.96	3.55	2.00	7.10
TOTAL (D)					39.31
LIFT & STAIRCASE					
C	3.00	5.41	16.23	1.00	16.23
D	3.00	5.23	15.69	1.00	15.69
F	1.75	3.90	6.83	1.00	6.83
TOTAL (E)					38.75
TOTAL (A+B+C+D+E)					255.69



THIRD/FIFTH FLOOR PLAN

SIXTH FLOOR

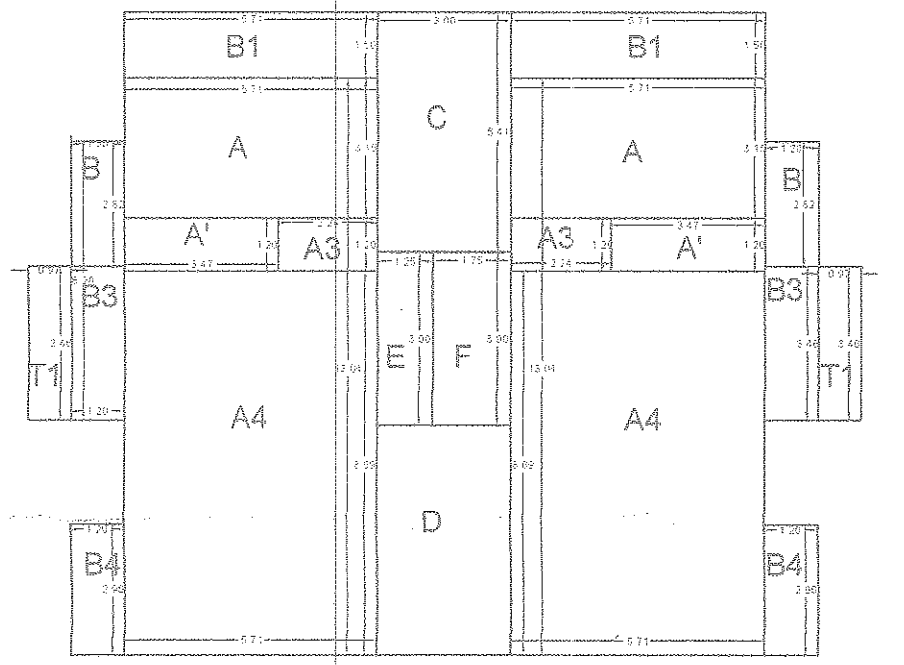
BLOCK	L	B	A=LXB	N	A=NXA
A	5.71	13.04	74.46	2.00	148.91
TOTAL (A)					148.91
TERRACE					
T	0.97	2.96	2.87	2.00	5.74
T2	5.71	1.50	8.57	2.00	17.13
TOTAL (B)					22.87
LOBBY					
E	1.25	3.90	4.88	1.00	4.88
TOTAL (C)					4.88
BALCONY					
B1	5.71	1.50	8.57	2.00	17.13
B3	1.20	6.28	7.54	2.00	15.07
B4	1.20	2.96	3.55	2.00	7.10
TOTAL (D)					39.31
LIFT & STAIRCASE					
C	3.00	5.41	16.23	1.00	16.23
D	3.00	5.23	15.69	1.00	15.69
F	1.75	3.90	6.83	1.00	6.83
TOTAL (E)					38.75
TOTAL (A+B+C+D+E)					254.72



SIXTH FLOOR PLAN

SEVENTH FLOOR

BLOCK	L	B	A=LXB	N	A=NXA
A	5.71	3.15	17.99	2.00	35.97
A3	2.24	1.20	2.69	2.00	5.38
A4	5.71	8.69	49.62	2.00	99.24
TOTAL					140.59
TERRACE					
T1	0.97	3.46	3.36	2.00	6.71
TOTAL (B)					6.71
LOBBY					
E	1.25	3.90	4.88	1.00	4.88
TOTAL (C)					4.88
BALCONY					
B	2.82	1.20	3.38	2.00	6.77
B3	1.20	3.46	4.15	2.00	8.30
B4	1.20	2.96	3.55	2.00	7.10
B1	5.71	1.50	8.57	2.00	17.13
TOTAL (D)					39.31
LIFT & STAIRCASE					
C	3.00	5.41	16.23	1.00	16.23
D	3.00	5.23	15.69	1.00	15.69
F	1.75	3.90	6.83	1.00	6.83
A'	3.47	1.20	4.16	2.00	8.33
TOTAL (E)					47.07
TOTAL (A+B+C+D+E)					238.56

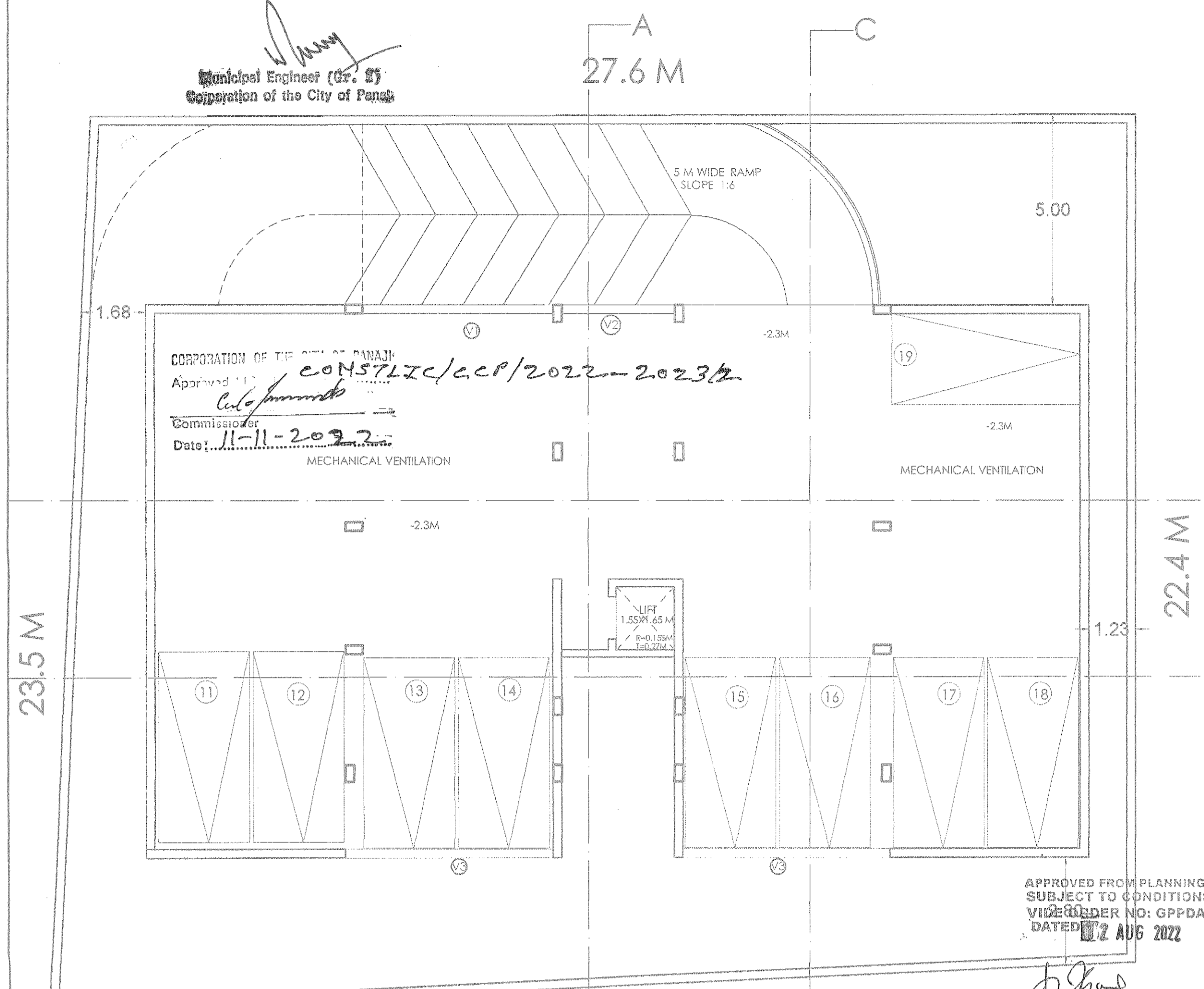


SEVENTH FLOOR

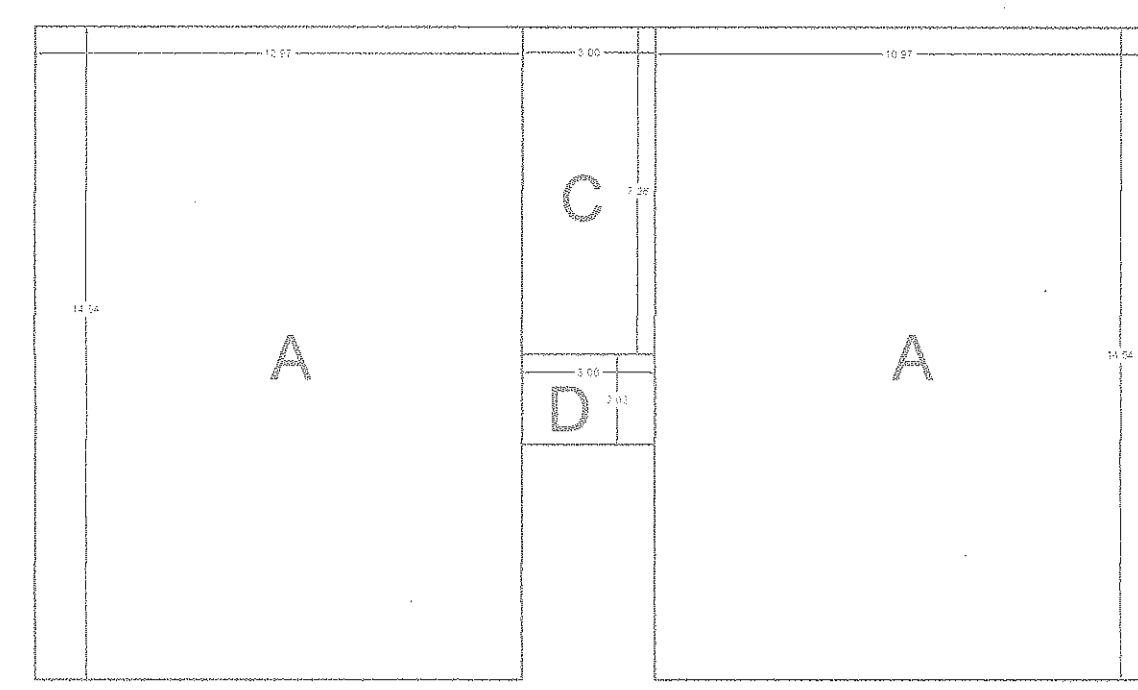
PROJECT CODE	DATE
SD/RBC/0221	23 NOVEMBER 2021
SUBMISSION DRAWING NO: 3	NORTH
DRAWN BY: ANJALI GOUR	
SCALE: 1:100	

Municipal Engineer (Sr. B)
Corporation of the City of Panaji

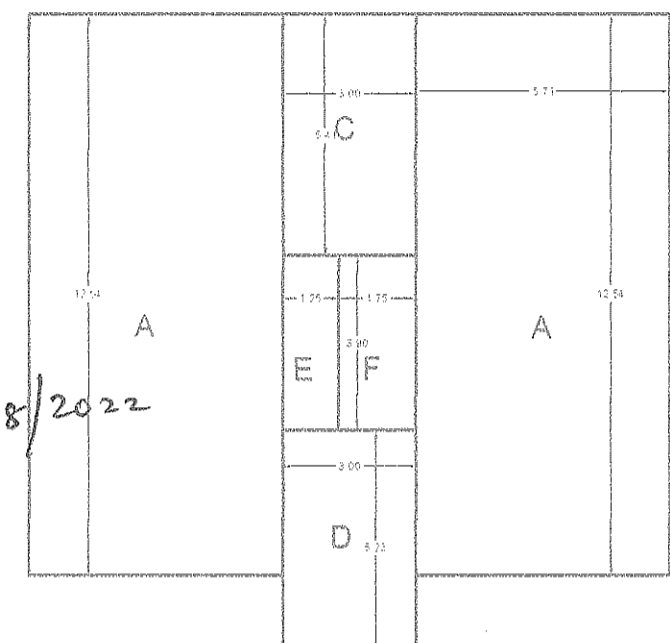
CORPORATION OF THE CITY OF PANAJI
Approved: *[Signature]*
Commissioner
Date: 11-11-2022
MECHANICAL VENTILATION



BASEMENT FLOOR PLAN
SCALE: 1:100

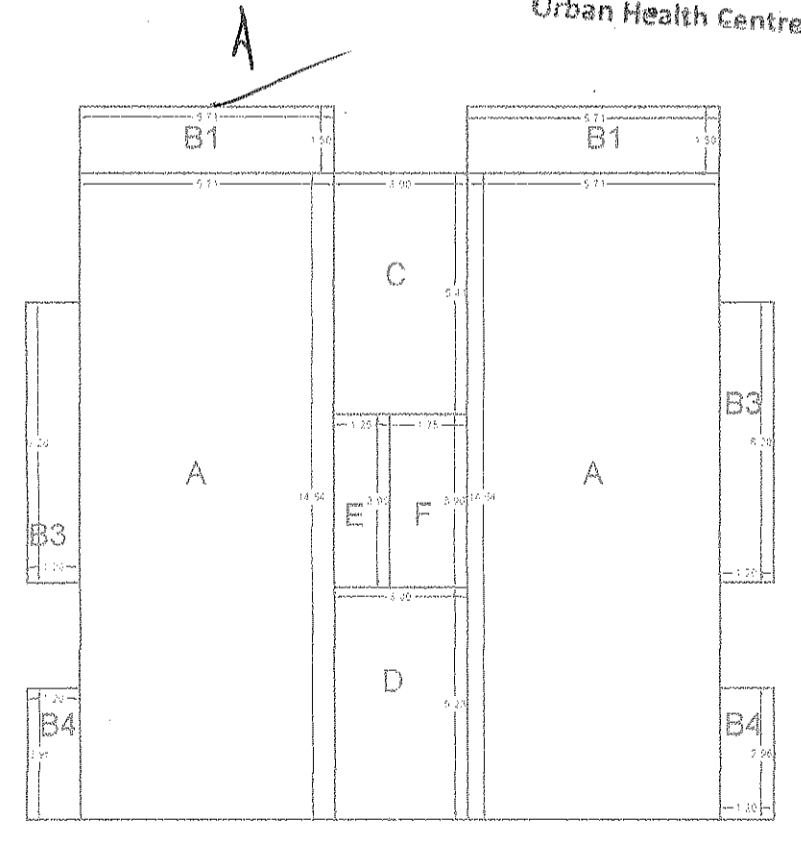


BASEMENT FLOOR					
BLOCK	L	B	A=LXB	N	A=NXA
A	14.54	10.97	159.50	2.00	319.01
C	3.00	7.26	21.78	1.00	21.78
TOTAL (A)					340.79
LIFT & STAIRCASE					
D	3.00	2.02	6.06	1.00	6.06
TOTAL (E)					6.06
TOTAL BUILTUP AREA (A+E)					346.8

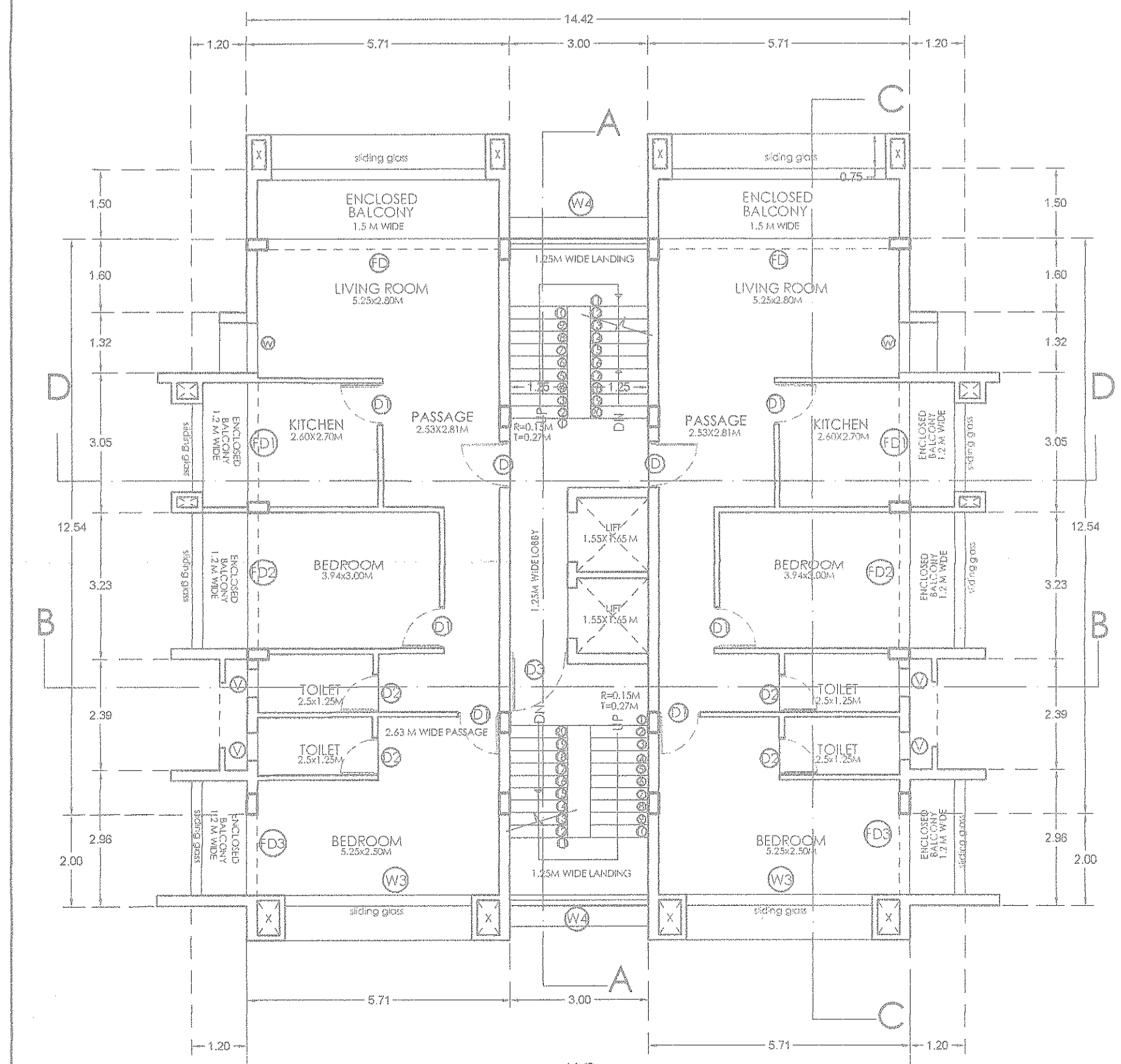


MEMBER SECRETARY
Greater Panaji
Planning & Dev. Authority
Panaji- Goa

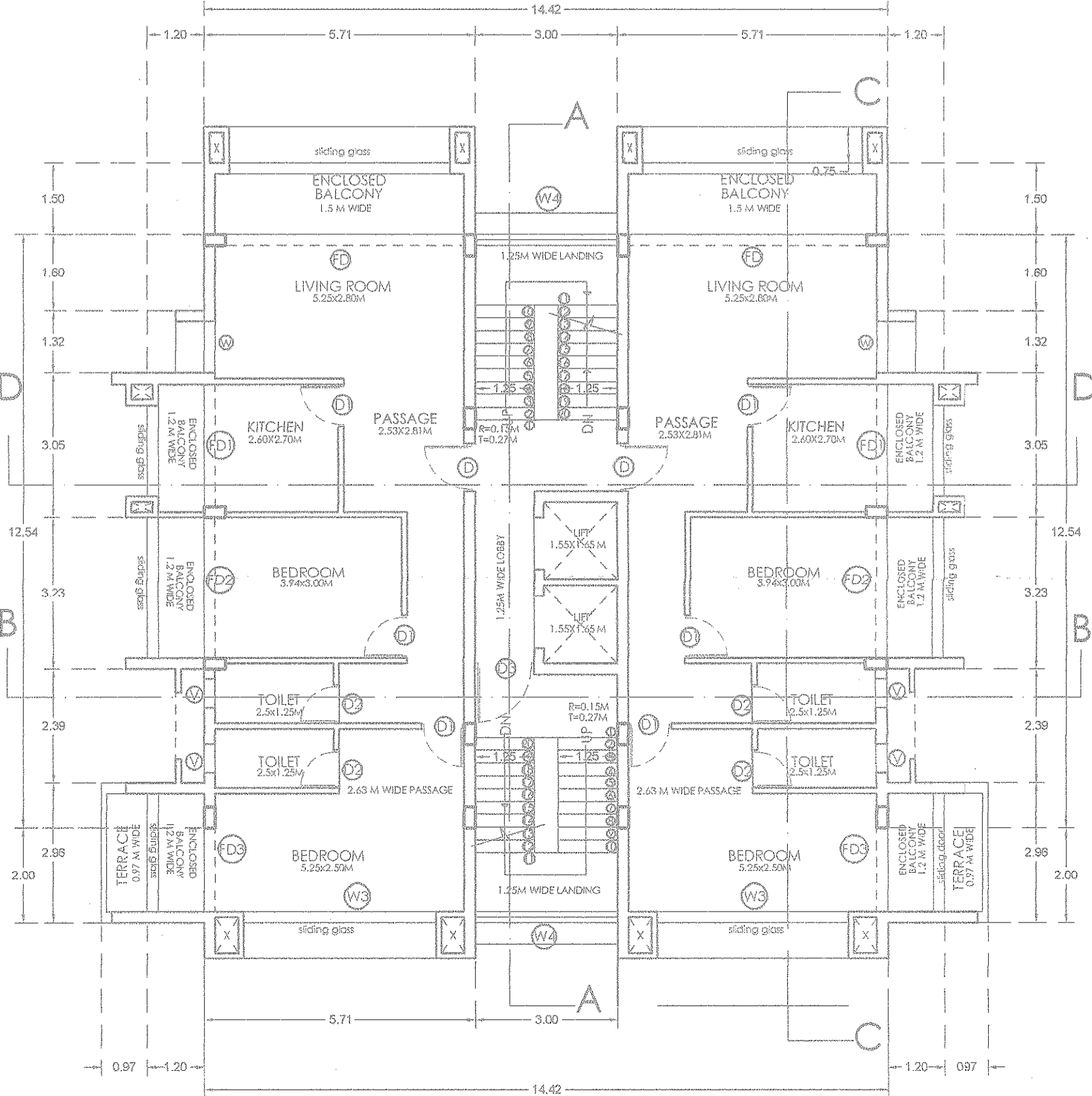
N.O.C. is issued subject to the
Condition Stipulated in the letter
No. UHCP/DHS/NO/2022-2023/1642
Dated: 11-11-2022
Health Officer
Urban Health Centre Panaji



FIRST FLOOR					
BLOCK	L	B	A=LXB	N	A=NXA
A	5.71	14.54	83.023	2.00	166.04
TOTAL (A)					166.04
LOBBY					
E	1.25	3.90	4.88	1.00	4.88
TOTAL (C)					4.88
BALCONY					
B1	5.71	1.50	8.57	2.00	17.13
B3	1.20	6.28	7.54	2.00	15.07
B4	1.20	2.96	3.55	2.00	7.10
TOTAL (D)					39.31
LIFT & STAIRCASE					
C	3.00	5.41	16.23	1.00	16.23
D	3.00	5.23	15.69	1.00	15.69
F	1.75	3.90	6.83	1.00	6.83
TOTAL (E)					38.75
TOTAL BUILTUP AREA (A+C+D+E)					248.98



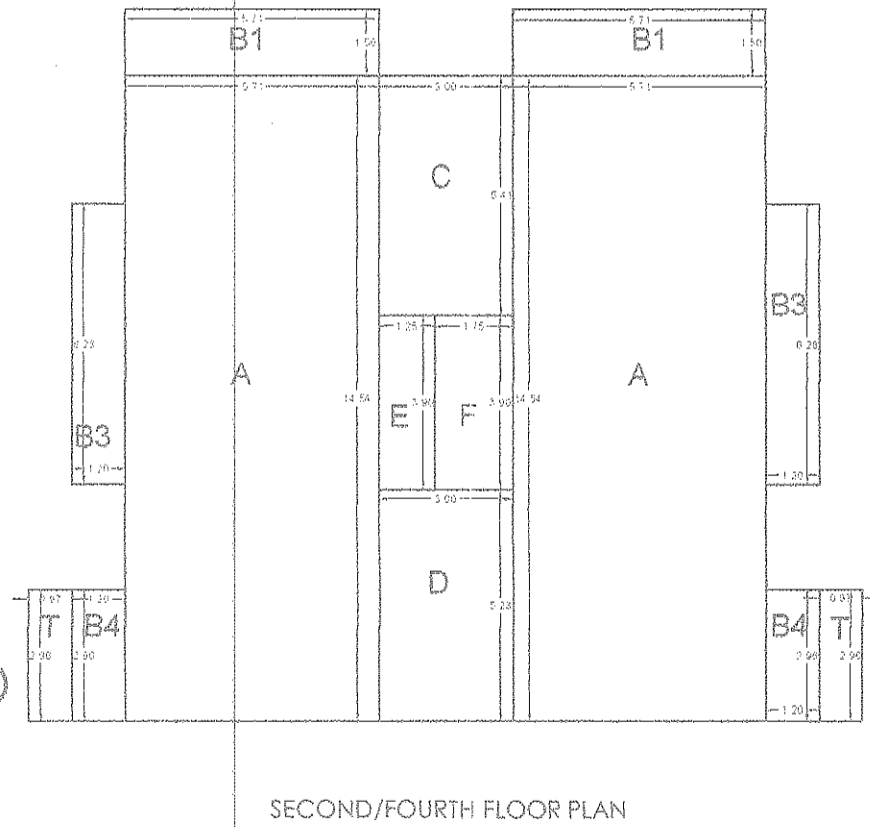
FIRST FLOOR PLAN
SCALE: 1:100



SECOND/FOURTH FLOOR PLAN
SCALE: 1:100

STILT FLOOR					
BLOCK	L	B	A=LXB	N	A=NXA
A	5.71	12.54	71.60	2.00	143.21
TOTAL (A)					143.21
LOBBY					
E	1.25	3.90	4.88	1.00	4.88
TOTAL (B)					4.88
LIFT & STAIRCASE					
C	3.00	5.41	16.23	1.00	16.23
D	3.00	5.23	15.69	1.00	15.69
F	1.75	3.90	6.83	1.00	6.83
TOTAL (C)					38.75
TOTAL (A+B+C)					186.83

STILT FLOOR PLAN
SCALE: 1:100



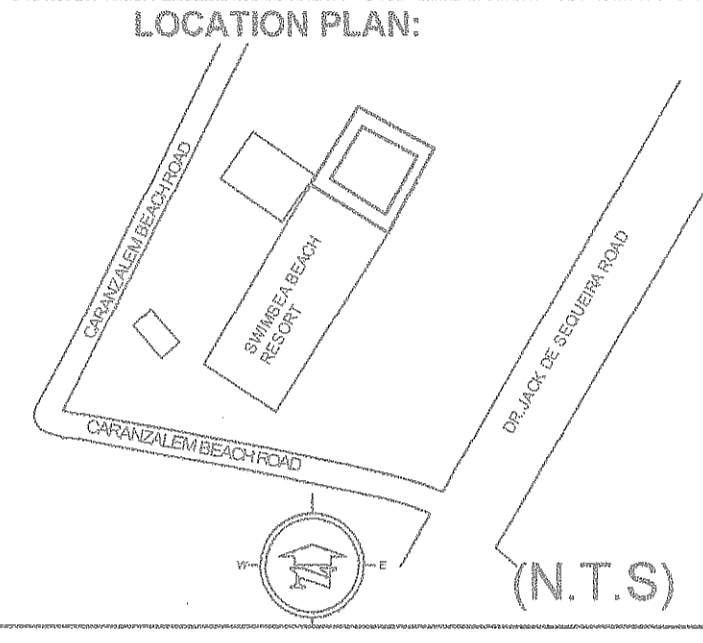
SECOND/FOURTH FLOOR PLAN

SECOND FLOOR/FOURTH FLOOR					
BLOCK	L	B	A=LXB	N	A=NXA
A	5.71	14.54	83.02	2.00	166.04
TOTAL (A)					166.04
TERRACE					
T	0.97	2.96	2.87	2.00	5.74
TOTAL (B)					5.74
LOBBY					
E	1.25	3.90	4.88	1.00	4.88
TOTAL (C)					4.88
BALCONY					
B1	5.71	1.50	8.57	2.00	17.13
B3	1.20	6.28	7.54	2.00	15.07
B4	1.20	2.96	3.55	2.00	7.10
TOTAL (D)					39.31
LIFT & STAIRCASE					
C	3.00	5.41	16.23	1.00	16.23
D	3.00	5.23	15.69	1.00	15.69
F	1.75	3.90	6.83	1.00	6.83
TOTAL (E)					38.75
TOTAL (A+B+C+D+E)					254.72

GENERAL NOTES

1. ALL DIMENSIONS AND LEVELS ARE IN METERS.
2. THIS DRAWING IS NOT TO BE SCALED, FOLLOW WRITTEN DIMENSIONS.
3. ANY DISCREPANCY SHALL FIRST BE CLARIFIED WITH THE CONSULTANT/ARCHITECT BEFORE PROCEEDING ANY FURTHER.

DOOR WINDOW SCHEDULE					
TYPE	WIDTH (m)	HEIGHT (m)	SILL HT (m)	LINTLE HT (m)	
D	1.00	2.50			BEAM BOTTOM
D1	0.90	2.50			BEAM BOTTOM
D2	0.80	2.10		2.10	
D3	1.25	2.10			BEAM BOTTOM
V	0.60	1.00	1.5		BEAM BOTTOM
V1	4.81	0.80	1.5		BEAM BOTTOM
V2	2.77	0.80	1.5		BEAM BOTTOM
V3	5.03	0.80	1.5		BEAM BOTTOM
W	1.20	1.9	0.6		BEAM BOTTOM
W3	4.05	1.9	0.6		BEAM BOTTOM
W4	3.00	1.9	0.60		BEAM BOTTOM
FD	5.03	2.5			BEAM BOTTOM
FD1	2.59	2.50			BEAM BOTTOM
FD2	2.88	2.5			BEAM BOTTOM
FD3	1.74	2.5			BEAM BOTTOM
FD4	2.25	2.5			BEAM BOTTOM
FD5	5.25	2.5			BEAM BOTTOM
FDD	2.09	2.00			BEAM BOTTOM



CLIENT:

RODEEP
MERIDIAN ESTATES PVT. LTD
OFFICE NO. 17, V MALL, ASHA NAGAR,
KANDIVALI EAST, MUMBAI - 400101

PROJECT:

PROPOSED RESIDENTIAL BUILDING AT
CARANZALEM CHALTA NO. 164/2
TALUKA TISWADI

ARCHITECT:

OM V. PRABHUGAONKAR
ARCHITECT
TCPD AR/0118/2010
COA CA/2004/34637

STUDIO EARTH
G4, BLDG 1, KAMAT COMPLEX, TONCA,
PANJIM, GOA-403001.

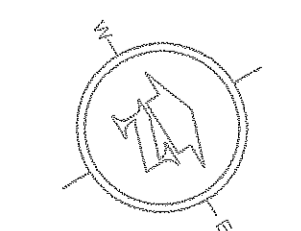
PROJECT CODE: SD/RBC/0221

DATE: 23 NOVEMBER 2021

SUBMISSION DRAWING NO: 2

NORTH

DRAWN BY: ANJALI GOUR



SCALE: 1:100