

Ref.: SGPDA / P /5284/ 1374 / 21-22

Date: 11/3 /2022

COMPLETION ORDER

Completion is hereby certified for **building having basement parking 4 shops on Ground floor 7 offices on 1st floor, 4 offices and 1 flat on 2nd floor, 2 flats on 3rd floor, 1 flat on 4th floor 2 flats on 5th floor and 2 flats on 6th floor** located in the land situated at **Margao Chalta No. 117,118 & 217 of PTS No. 215** as per the Development permission issued vide order no. (1) SGPDA/P/5284/1863/18-19 dated 24/01/2019 (2) SGPDA/P/5284/976/17-18 dated 24/01/2019 and revised vide order no. SGPDA/P/5284/1323/21-22 dated 01/03/2022.

Completion Certificate issued on 02/03/2022 by Registered Architect, Smt. Aparna Tiloji Reg. No. AR/0032/2016.

Completion of Development checked on 07/03/2022 by Smt. Kanchan Sawant Architectural Assistant.

Structural Stability Certificate issued on 02/03/2022 by Registered Engineer, Mr. Abhay Kunkolienkar Reg No. SE/0013/2010.

Infrastructure tax is paid vide Challan no. IT/38 dated 03/10/2017 for an amount of Rs. 13,80,656/-

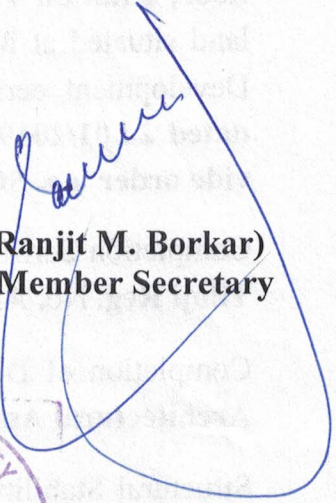
This order issued with the following conditions: -

- (a) The use of buildings should be strictly as per approval granted.
- (b) All parking spaces/garages should be used for parking of vehicles only and should not be converted for any other use.
- (c) No attachment/alteration to the building shall be carried out and the building shall not be occupied unless the occupancy certificate is obtained from the concerned Municipality on presentation of this order.
- (d) This order is issued based on the parameter of setbacks, height of the building, coverage F.A.R. and parking requirement only. The internal details / changes, sanitary requirement, etc. shall be seen by the Municipality before Issuing Occupancy Certificate.
- (e) As regards to the validity of conversion sanad, renewal of license, the same shall be confirmed by the Municipality before issuing Occupancy Certificate.
- (f) The Completion Order is issued from the planning point of view only as regards to structural stability and safety of all, concerned owner and his Engineer shall be solely responsible and the Member Secretary and his all officials are indemnified and kept indemnify forever against any civil and or criminal liabilities and for any kind of liability, whatsoever in the event of any untoward incidents or structural failure/collapse. This will hold good (and will be valid) even in case some of any prescribed documents inadvertently are not on records not received by the Authority or wrongly submitted by the applicant/applicant's representative.

(g) As regards complaints pertaining to encroachments, Judicial Orders/directives and other legal issued, the same may be verified and confirmed by the concerned Municipality, before issuing Occupancy Certificate.



(Kanchan Sawant)
Architectural Assistant



(Ranjit M. Borkar)
Member Secretary



To,
Mr. Surendra Datta Naik & Ors.,
C/O. SRE Estates Developments,
“SUPREME”,
Behind New Telephone Exchange,
Opp. Bombi House,
Comba, Margao-Goa.

Copy to: -

- a) Chief Officer, MMC, Margao- Goa,
- b) Office Copy
- c) Guard file.