

Permission Issued Under Construction Licence No. VPB/CONST/2022-2023/1554 Dated 09/06/2022
 Vice Resolution No. 5113 Meeting Dated 14/05/2022

Secretary
 Village Panchayat, Borim
 Ponda-Goa

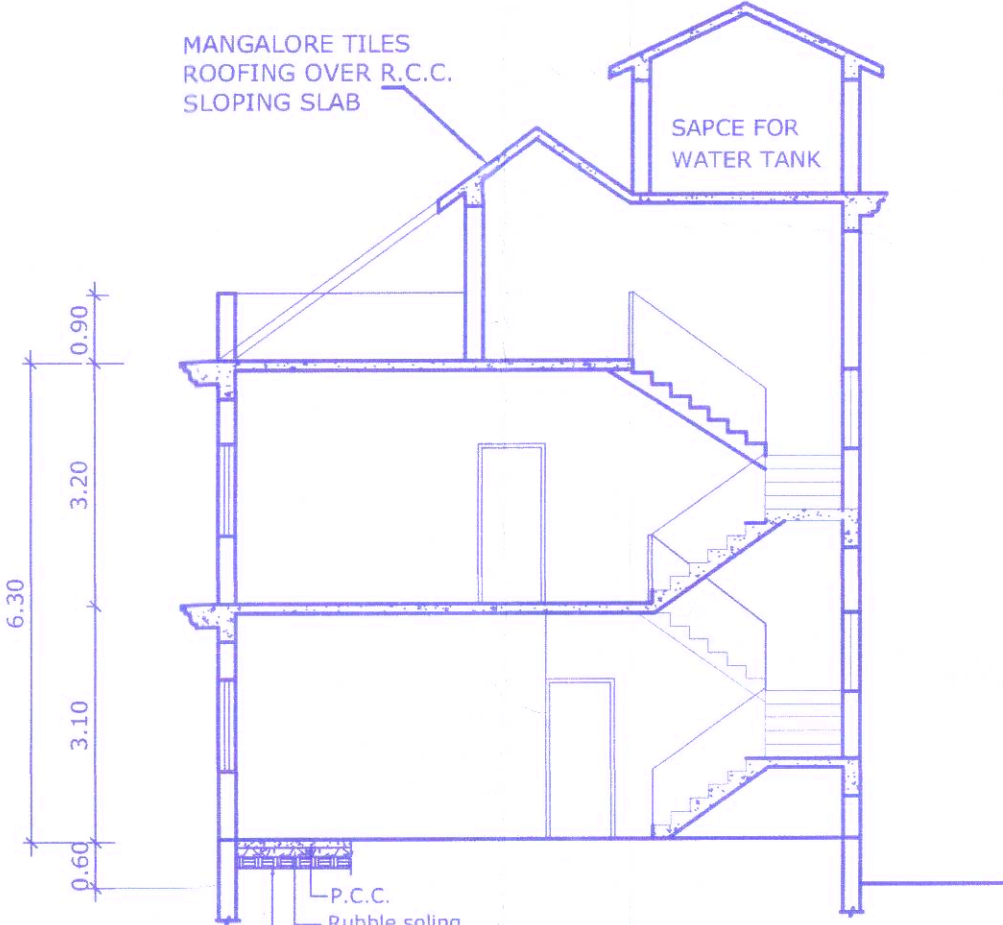


AREA STATEMENT		
1	TOTAL AREA OF PLOT	7850.00 M2
2	PLOT AREA LEFT FOR EXISTING HOUSES	750.00 M2
3	EFFECTIVE PLOT AREA	7100.00 M2
4	AREA OF ROAD WIDENING	NIL
5	NET EFFECTIVE PLOT AREA	7100.00 M2
6	AREA REQUIRED FOR OPEN SPACE (15%)	1065.00 M2
7	AREA PROVIDED FOR OPEN SPACE	1100.00 M2
8	PERMISSIBLE COVERAGE (40%)	2840.00 M2
9	PERMISSIBLE F.A.R. (60%)	4260.00 M2
10	PROPOSED COVERED AREA (102.00 M2X 21 VILLA)	2142.00 M2
11	PROPOSED COVERAGE CONSUMED	30.17 %

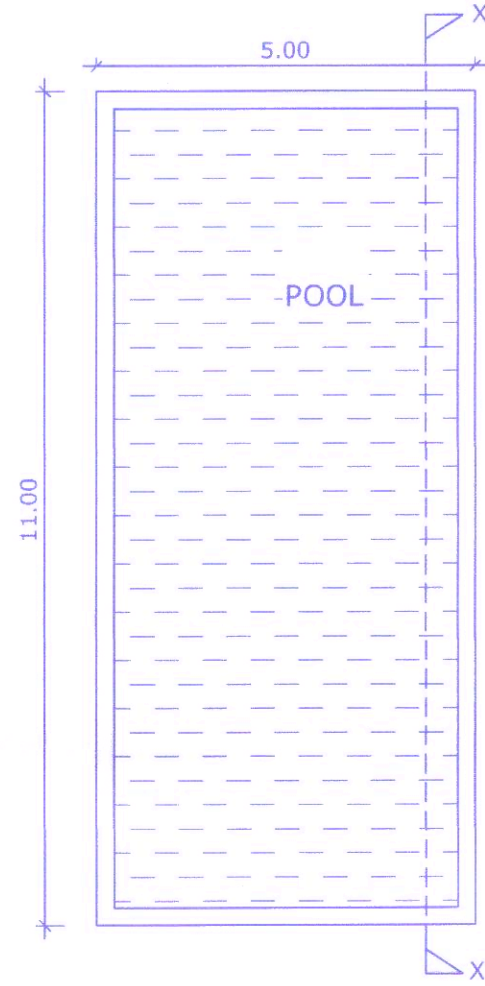
SCHEDULE OF DOORS, WINDOWS & VENTILATORS	
D	1.20 X 2.10
D1	0.90 X 2.10
D2	0.80 X 2.10
W	2.40 X 1.20
W1	1.50 X 1.20
W2	1.00 X 1.20
V	0.60 X 0.80



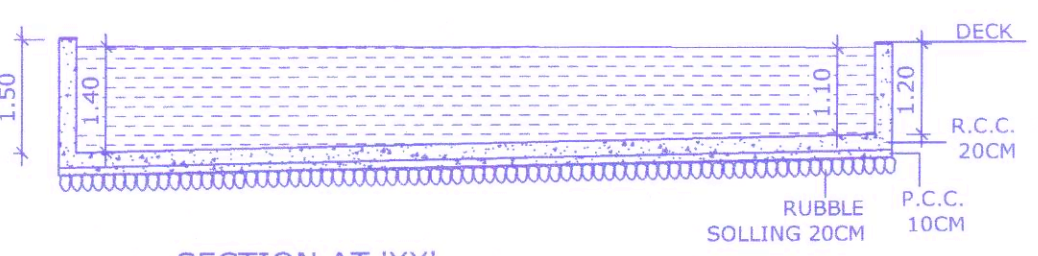
FRONT ELEVATION
 SCALE 1:100



SECTION AT 'AA'
 SCALE 1:100



PLAN OF SWIMMING POOL
 SCALE 1:100

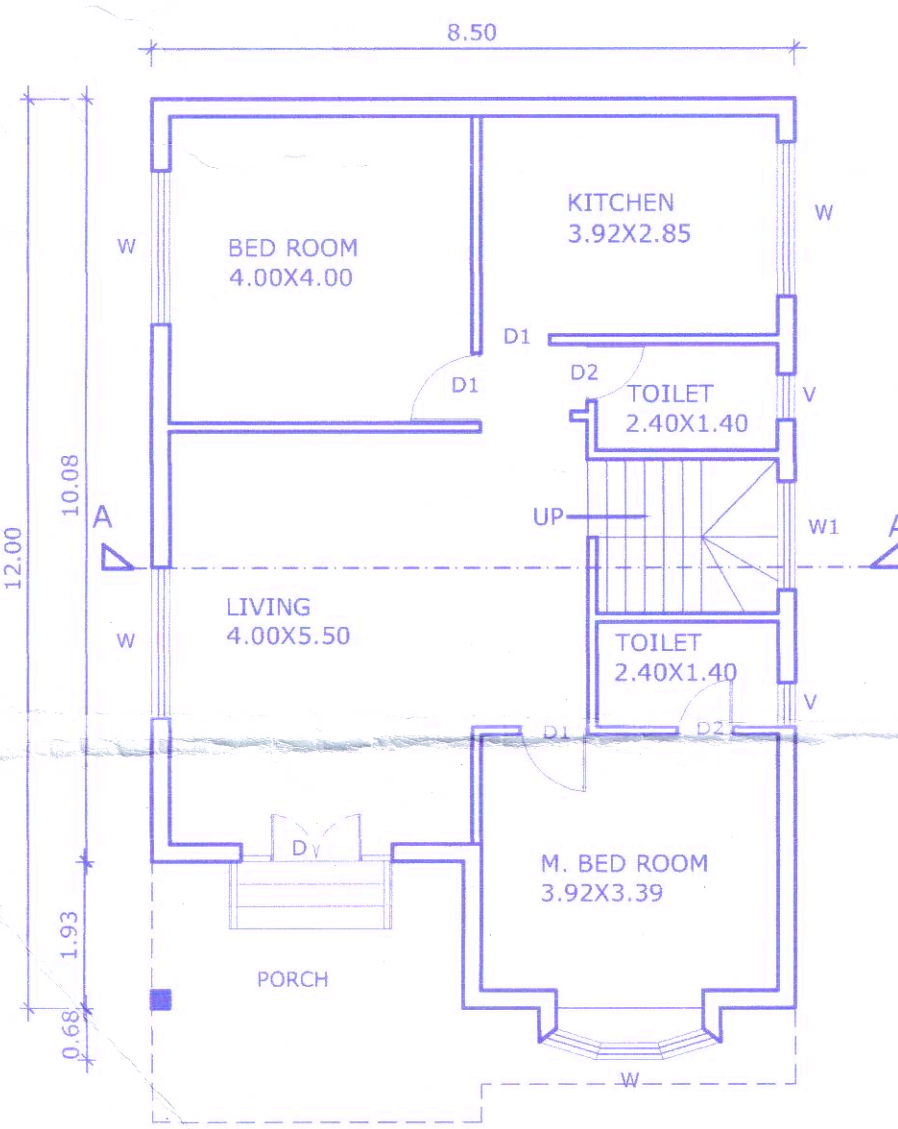


SECTION AT 'XX'
 SCALE 1:100

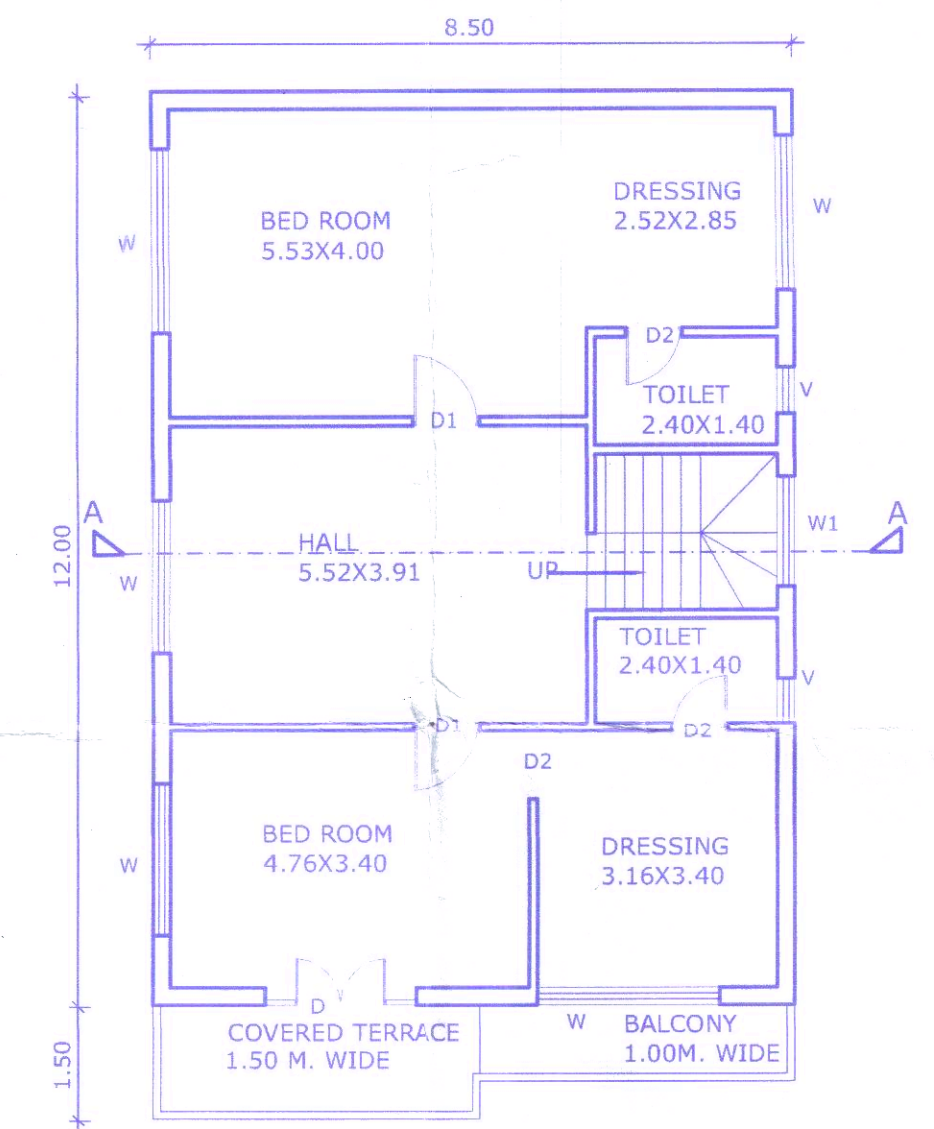
Please check letter No. P.P/562/Borim/32/1/2021/2022/853 dated 22/04/2022 regarding the Plans

Town Planning
 Town & Country Planning Dept.
 Govt. of Goa
 Ponda-Goa.

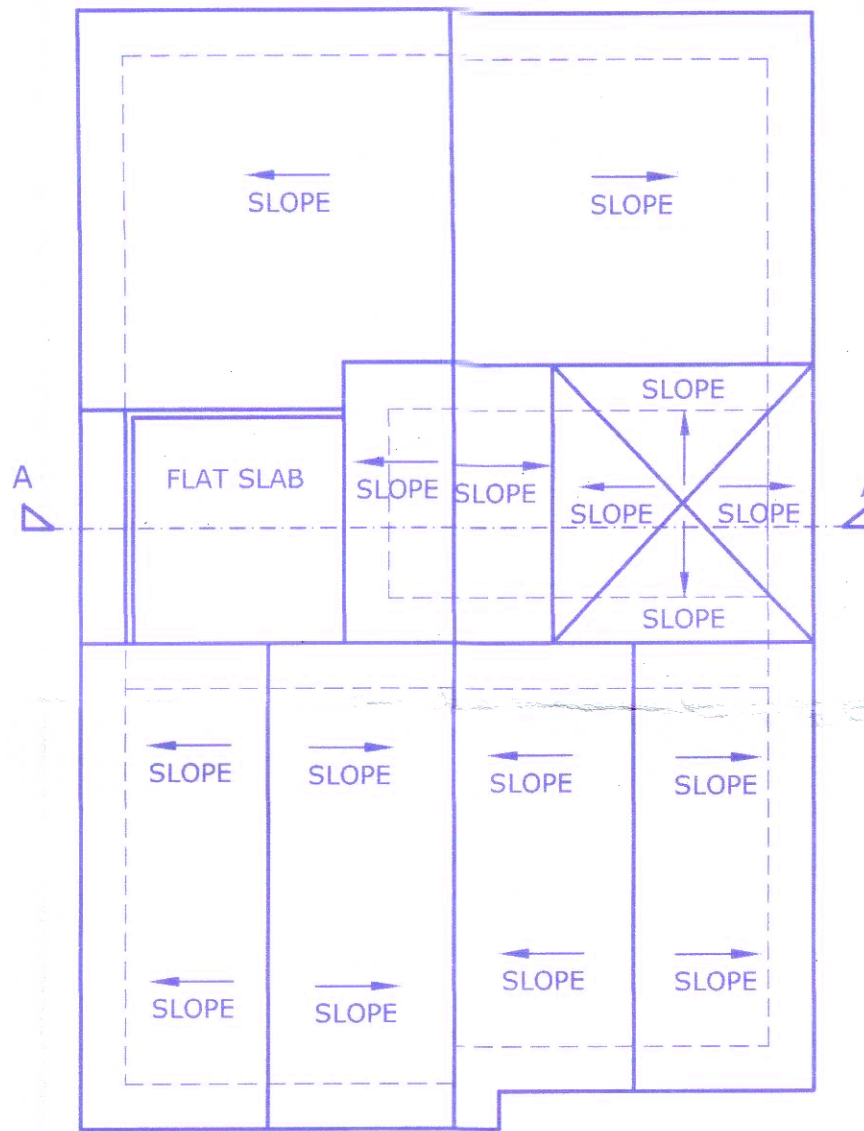
Medical Officer
 Incharge PHC, Shiroda



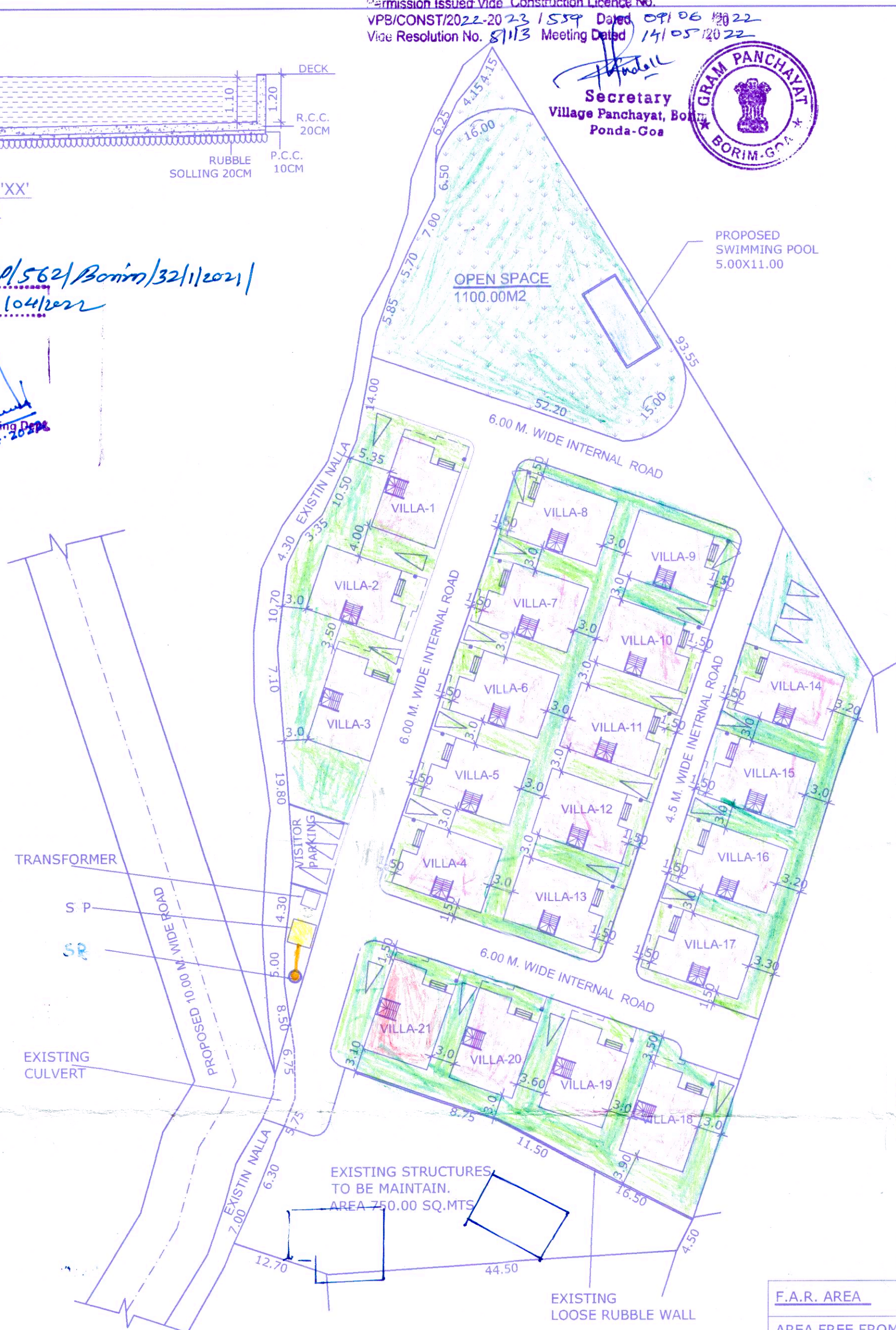
PROPOSED GROUND FLOOR PLAN
 SCALE 1:100



PROPOSED FIRST FLOOR PLAN
 SCALE 1:100

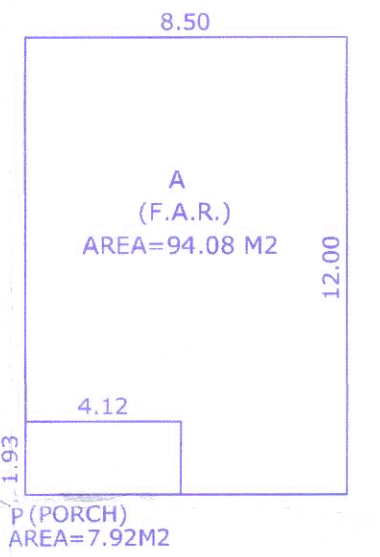


ROOF PLAN
 SCALE 1:100

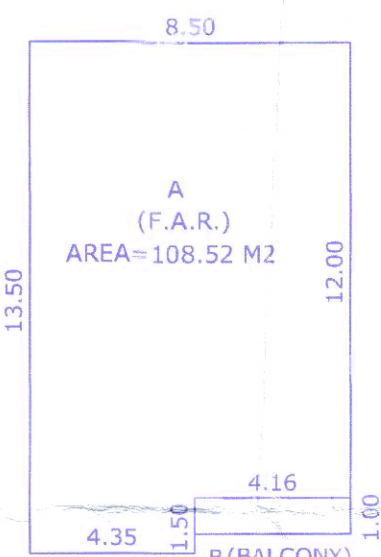


SITE PLAN
 SCALE 1:500

FLOOR	USE	TOTAL BUILT-UP AREA	AREA FREE OF F.A.R			NET FLOOR AREA FOR F.A.R
			PORCH	VER./BALCONY	STAIR.	
VILLA- 1 TO 21						
PROPOSED GROUND FLOOR AREA	RESI.	102.00 M2 X 21 NOS. = 2142.00 M2	7.92 M2 X 21 NOS. = 166.32 M2	-	-	94.08 M2 X 21NOS = 1975.68 M2
PROPOSED FIRST FLOOR AREA	RESI.	112.67 M2 X 21 NOS. = 2366.07 M2	-	4.15 M2X21 NOS = 87.15 M2	-	108.52 M2 X 21NOS = 2278.92 M2
TOTAL BUILT-UP AREA		214.67 M2 X 21 NOS. = 4508.07 M2	7.92 M2 X 21 NOS. = 166.32 M2	4.15 M2X21 NOS = 87.15 M2	-	202.60 M2 X 21NOS = 4254.60 M2
F.A.R. CONSUMED = 59.92						
BUILT-UP AREA FOR INFRASTRUCTURE TAX = 4508.07 M2 + SWIMMING POOL AREA = 55.00 SQMT						
TOTAL BUILT-UP AREA FOR INFRASTRUCTURE TAX = 4563.07 M2						
NO. OF CAR PARKING REQUIRED = 21 NOS.						
NO. OF CAR PARKING PROVIDED = 21 NOS.						



AREA DIAGRAM OF GROUND FLOOR PLAN
 SCALE 1:200



AREA DIAGRAM OF FIRST FLOOR PLAN
 SCALE 1:200

F.A.R. AREA	(A) = 108.52 M2 X21 NOS = 2278.92 M2
AREA FREE FROM F.A.R	
PORCH	(P) = 4.15 M2X 21 NOS = 87.15 M2
TOTAL AREA	= 112.67 M2X 21 NOS. = 2366.07 M2

F.A.R. AREA	(A) = 94.08 M2 X21 NOS = 1975.68 M2
AREA FREE FROM F.A.R	
PORCH	(P) = 7.92 M2X 21 NOS = 166.32 M2
TOTAL AREA	= 102.00 M2X 21 NOS. = 2142.00 M2

SCALE :- 1:100, 1:200 & 1:500
 OWNERS SIGN.
 ARCHITECT/ENGINEER SIGN.
VIBHAV NAIK
 BE CIVIL, AMIE
 CONSULTING CIVIL ENGINEER
 REGISTERED VALUER
 TCP REG. No. - SE/0004/2020
 IBBI REG. No.-IBBI/RV/02/2019/12688
 KHANDOLA, MARCEL, GOA.

PROPOSED CONSTRUCTION OF RESIDENTIAL VILLA'S AND SWIMMING POOL IN PLOT BEARING SY.NO. 32/1, SITUATED AT BORIM VILLAGE OF PONDA TALUKA, GOA, FOR M/S ANANT LAXMI AND SONS VENTURES PRIVATE LIMITED.